



414 Canal Street - New Smyrna Beach, FL 32168 - 386.426.5583

**PHASE I MILESTONE INSPECTION FOR**



**BENT PALM CLUB CONDOMINIUM**

**935 OCEAN SHORE BLVD  
ORMOND BEACH 32176**

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## **STRUCTURAL CONDITION EVALUATION**

Bent Palm Club Condominiums  
935 Ocean Shore Blvd – Ormond Beach, FL 32176  
Phase I Milestone Inspection - FL Statute 553.899 & 718.112  
CRA & Associates, Inc. Job ID#: 23-1136

### **REQUESTED BY**

Ms. Jen Alford, Property Manager, Association Manager  
Bent Palm Club Condominiums Association  
935 Ocean Shore Blvd  
Ormond Beach, FL 32176

### **SUBMITTED BY**

Mr. Charles R. Adams, P.E. - F.L. # 15113  
President - CRA & Associates, Inc.  
Structural Engineers - Consultants  
414 Canal Street - New Smyrna Beach, FL 32168

### **PREPARED BY**

Mr. Jonathan A. Adams, B.S.E.T  
Vice President - CRA & Associates, Inc.  
Structural Engineers - Consultants  
414 Canal Street - New Smyrna Beach, FL 32168

## **PROPERTY APPRAISER DATA**

*Address:* 935 Ocean Shore Blvd, Ormond Beach, FL 32176

*Tax Parcel ID:* 420204000001

*Year of Construction:* 1981

*Property Use:* 0400 - CONDOMINIUM





414 Canal Street - New Smyrna Beach, FL 32168 - 386.426.5583

*Bent Palm Club Condominiums Association*

*935 Ocean Shore Blvd*

*Ormond Beach, FL 32176*

**ATTN:** Bent Palm Club Condo-Owners

**RE:** Bent Palm Club Condominium  
Phase I Milestone Inspection

**Unit Owners:**

This is to inform you that, since November 2021, our office has been the Engineer of Record for the Bent Palm Club Condominiums. During this time, we have worked with the Board of Directors to perform several repair & restoration projects, including concrete repair & coatings, and building paint in 2022-24. Throughout the design and oversight of these projects, our office performed numerous visual inspections of the various conditions and observed the age-related maintenance at the Bent Palm Club Condominiums.

On February 7, 2024, we performed a Phase I Milestone Inspection, as required by Florida Statute 553.899. We inspected all critical structural elements as well as a random sampling of non-structural elements of the building's common areas.

After evaluating these inspections, in addition to our work history and the related knowledge & understanding we have gained, the building's common areas and all structural systems & elements are very well maintained and in excellent condition currently. Based on the guidelines and requirements associated with the Phase I Milestone Inspection, there are no additional repairs required at this time.

It is our professional opinion that structural systems & components visually inspected during the Phase I Milestone Inspection, and over several years as the Engineer of Record, do not exhibit any signs of "significant structural deterioration" or dangerous/unsafe conditions and pose no risk to life safety. As such, a certificate confirming structural integrity will be issued. A Phase II Milestone Inspection will not be required.

Ongoing age-related maintenance & other repairs shall continue to be performed with the cycles and standards currently in place, in accordance with the intent of our recommendations, the requirements of the *Florida Building Code (FBC)*, and guidelines set forth by the *American Concrete Institute (ACI)* & *International Concrete Repair Institute (ICRI)*.

If you have any questions, or require additional information, please feel free to contact our office.

Respectfully,



Charles R. Adams, P.E.  
FL #15113

# damage survey and repairs to the Bent Palm Club

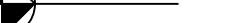
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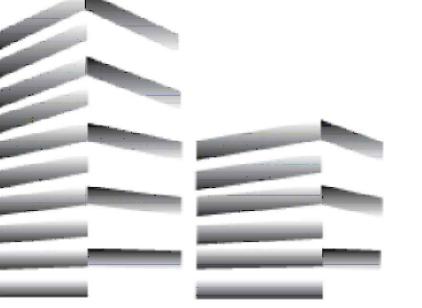


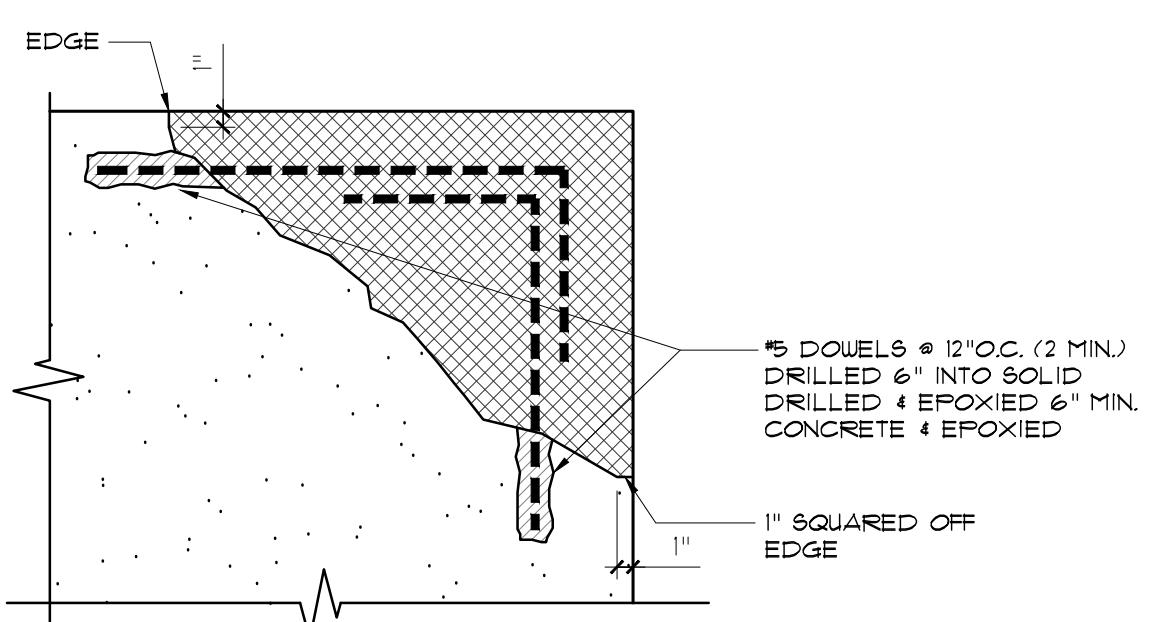
## LOCATION MAP



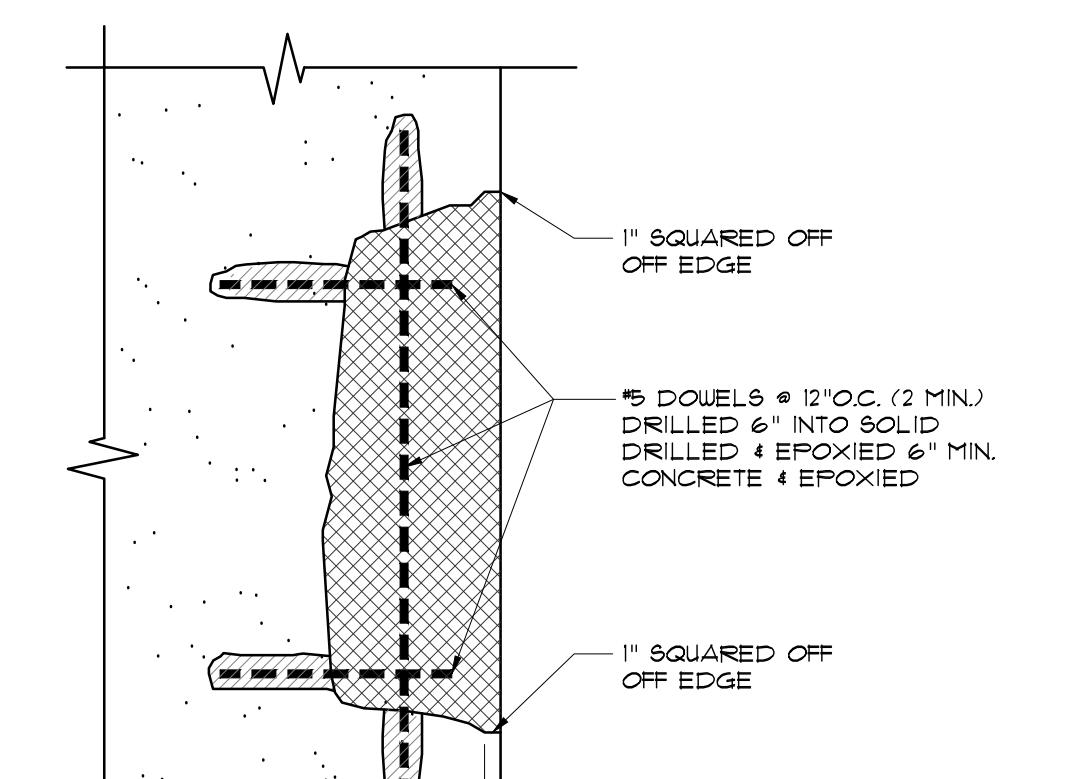
## SYMBOLS LEGEND

	ELEVATION		ELEVATION HT		REFLECTED CEILING PLA
	SECTION		DOOR NUMBER		REINFORCING BAR
	DETAIL		WINDOW NUMBER		REFERENCE
	KEY NOTE		REVISION NUMBER		REINFORCE
	WALL TYPE		ROOM NAME		REQUIRED

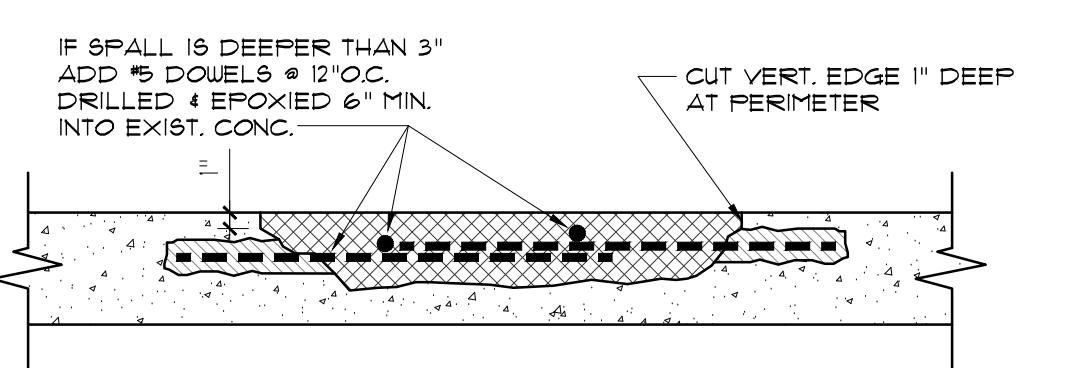
PROJECT DIRECTORY		INDEX of DRAWINGS																												
<p><u>ENGINEER OF RECORD</u></p>  <p><b>CRA</b> Charles R. Adams &amp; Associates, Inc. STRUCTURAL ENGINEERS</p> <p>414 Canal Street - New Smyrna Beach, FL 32168 - 386.426.5583 C.R. 4180</p>		<p>S-0 COVER SHEET S-1 CONCRETE REPAIR PROCEDURES &amp; DETAILS S-2 1ST FLOOR REPAIR PLAN S-3 2ND FLOOR REPAIR PLAN S-4 3RD FLOOR REPAIR PLAN S-5 4TH FLOOR REPAIR PLAN</p>																												
<p><u>ARCHITECT:</u> N/A</p>		<p><b>GENERAL CONTRACTOR:</b> T.B.D.</p>																												
		<p><b>SCOPE OF WORK</b> COMMERCIAL - CONCRETE REPAIRS</p>																												
<p><b>WIND LOAD DATA</b></p> <table border="1"> <tr> <td>BASIC WIND SPEED:</td> <td>140</td> </tr> <tr> <td>CATEGORY</td> <td>I-1 ENCLOSED BUILDING</td> </tr> <tr> <td>WIND EXPOSURE</td> <td>D</td> </tr> <tr> <td colspan="2">WIND PRESSURE FOR COMPONENTS &amp; CLADDING: (ASD)</td> </tr> <tr> <td>ZONE:</td> <td>PRESSURE (psf):</td> </tr> <tr> <td>ZONE 1</td> <td>+12.78, -26.10</td> </tr> <tr> <td>ZONE 2</td> <td>+12.78, -42.08</td> </tr> <tr> <td>ZONE 3</td> <td>+12.78, -58.59</td> </tr> <tr> <td>ZONE 4</td> <td>39.0, -39.0</td> </tr> <tr> <td>ZONE 5</td> <td>39.0, -71.3</td> </tr> <tr> <td colspan="2">WIND LOAD DATA PROVIDED BY MECAWIND 2.1.0.6 WIND LOADS PROGRAM FOR ASCE 7-16</td> </tr> </table>		BASIC WIND SPEED:	140	CATEGORY	I-1 ENCLOSED BUILDING	WIND EXPOSURE	D	WIND PRESSURE FOR COMPONENTS & CLADDING: (ASD)		ZONE:	PRESSURE (psf):	ZONE 1	+12.78, -26.10	ZONE 2	+12.78, -42.08	ZONE 3	+12.78, -58.59	ZONE 4	39.0, -39.0	ZONE 5	39.0, -71.3	WIND LOAD DATA PROVIDED BY MECAWIND 2.1.0.6 WIND LOADS PROGRAM FOR ASCE 7-16		<p><b>GENERAL BUILDING DATA:</b></p> <table border="1"> <tr> <td>AREA CALCULATIONS</td> <td rowspan="2">N/A</td> </tr> <tr> <td>CONDITIONED LIVING:</td> </tr> <tr> <td>TOTAL AREA OF PROJECT:</td> <td>-</td> </tr> </table>		AREA CALCULATIONS	N/A	CONDITIONED LIVING:	TOTAL AREA OF PROJECT:	-
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<p><b>STATEMENT OF COMPLIANCE</b></p> <p>TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE BUILDING AND FIRE SAFETY CODES.</p>		<p><b>CHARLES R ADAMS PROFESSIONAL ENGINEER</b></p> <p>FLORIDA LICENSE NO. 15113</p>																												



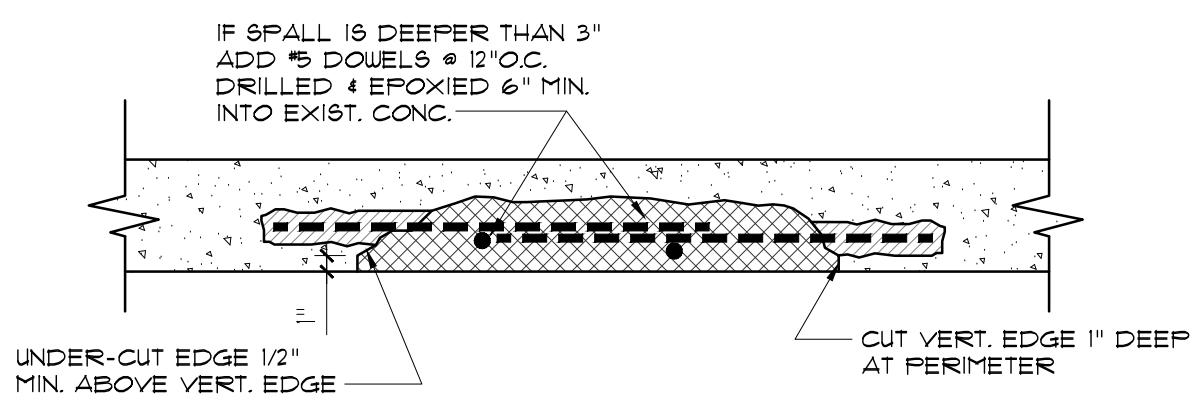
Corner Repair Detail  
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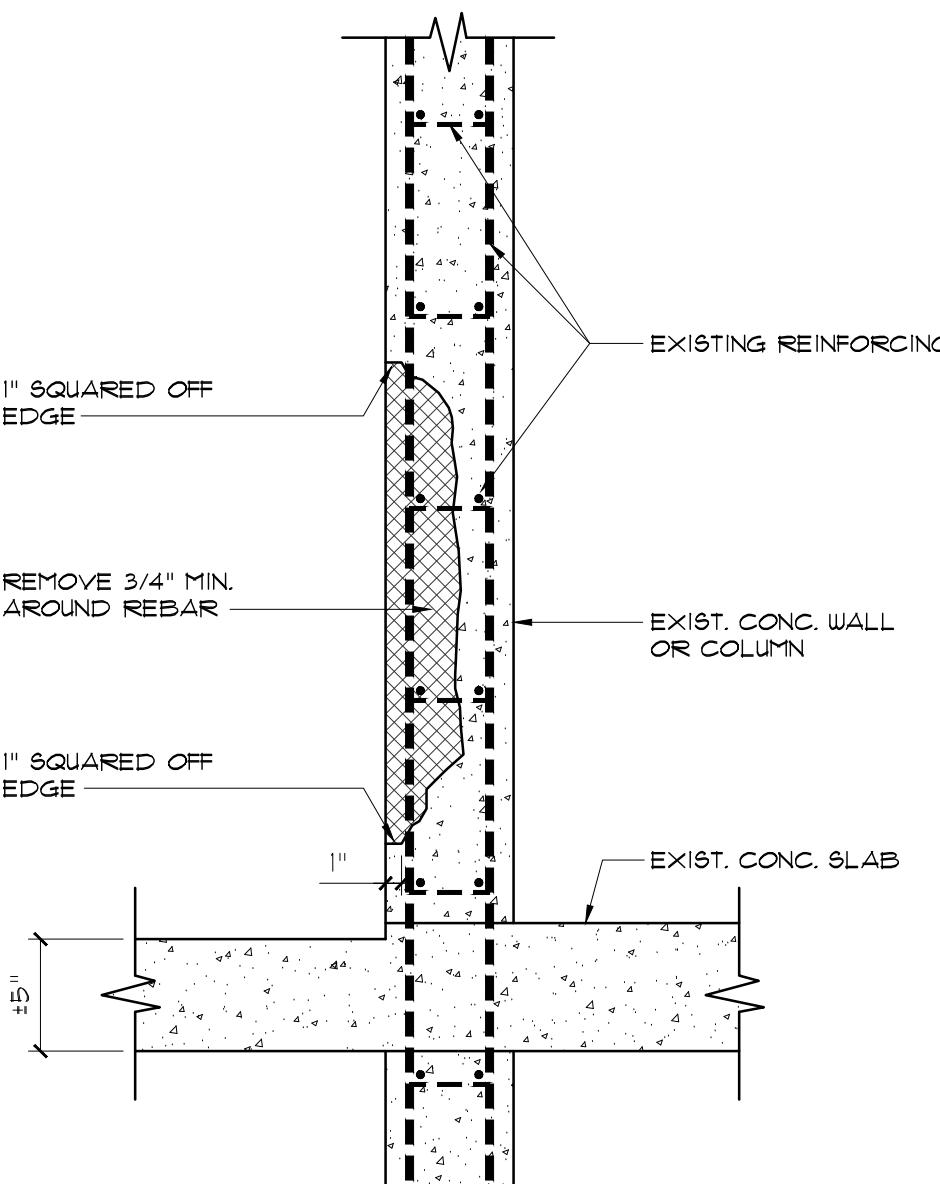
Edge Repair Detail  
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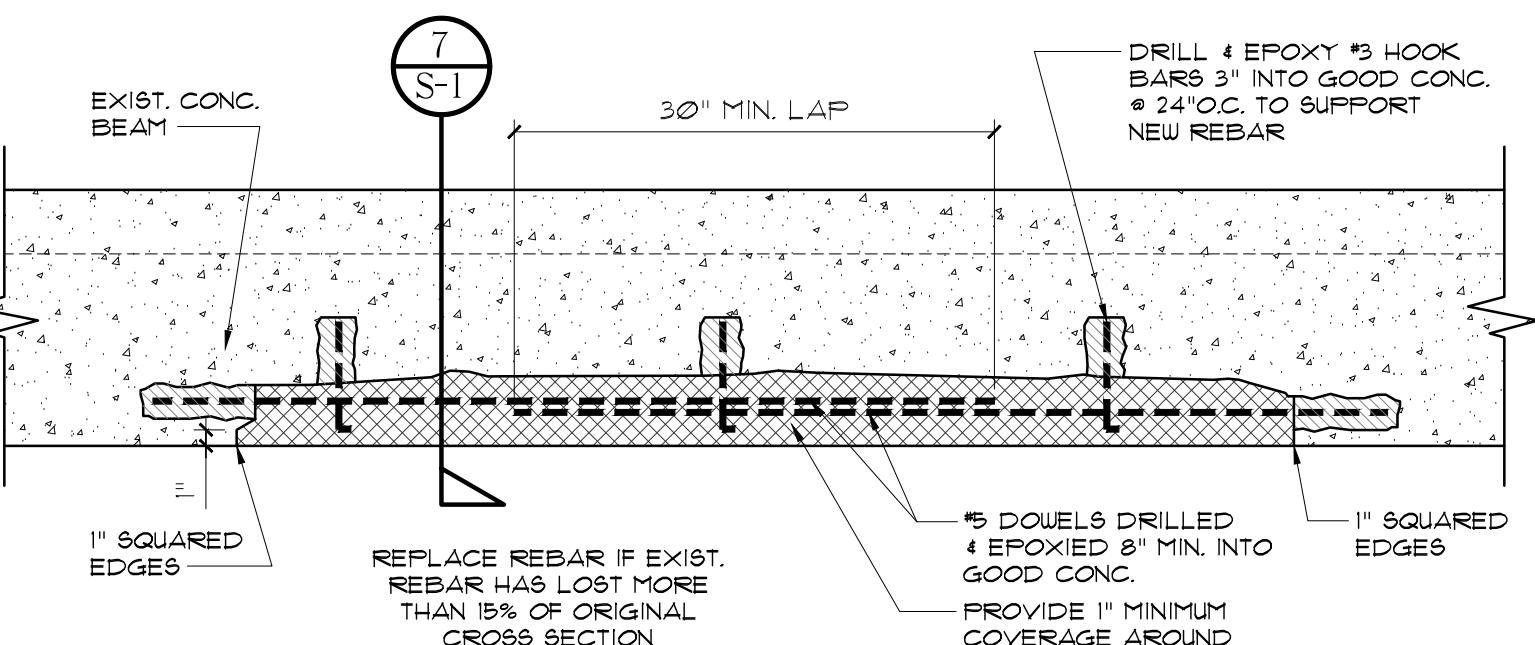
Detail @ Spalled Concrete  
Scale: 1' = 1'-0"



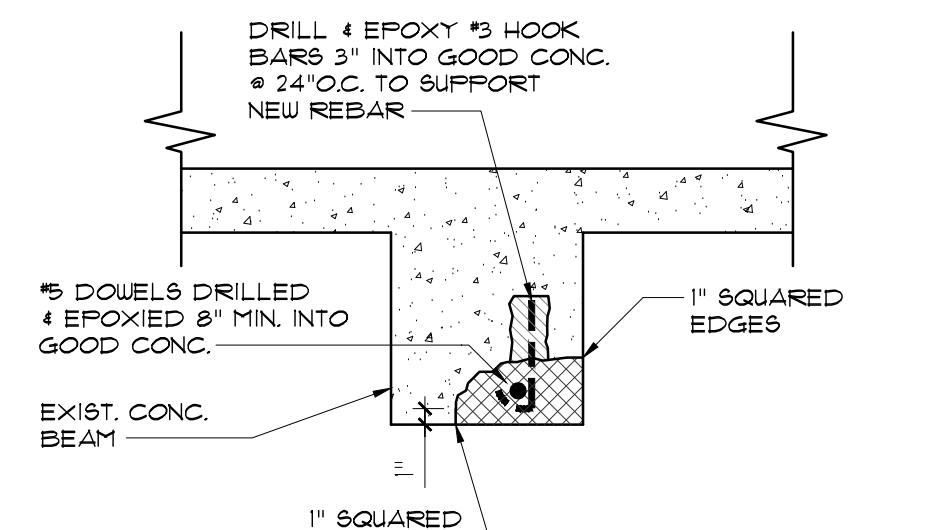
Detail @ Spalled Soffit  
Scale: 1' = 1'-0"



Spall in Vertical Concrete Detail  
Scale: 1' = 1'-0"



Beam Repair Detail  
Scale: 1' = 1'-0"



Beam Repair Detail  
Scale: 1' = 1'-0"

TOTAL QUANTITIES	
1.	CRACK REPAIR: 120 L.F. + 15% = 138 L.F.
2.	SOFFIT REPAIR: 125 SQ. FT. @ 4" DEPTH + 15% = 50 CU. FT.
3.	14 CU. FT. OF VERT. SURFACE / COLUMN REPAIR
4.	DECK SURFACE REPAIR: 275 SQ. FT. @ 4" DEPTH + 15% = 108 CU. FT.
5.	RUST SPOTS: 11 + 15% = 13
6.	SMALL SPOTS: 5 + 15% = 6

#### REPAIR PROCEDURES

##### A. GENERAL REQUIREMENTS FOR ALL WALKWAYS TO BE REPAIRED

- PRIOR TO COMMENCEMENT OF REPAIRS, WATERBLAST OR MECHANICALLY SCARIFY SURFACE OF BALCONY OR WALKWAY AREA TO BE REPAIRED, AS REQUIRED, TO REMOVE EXISTING SURFACE TREATMENT AND CONCRETE SURFACE TO ATTAIN A SANDPAPER LIKE SURFACE ON CLEAN CONCRETE. BALCONY RAILS MAY REMAIN IN PLACE UNLESS REMOVAL IS REQUIRED FOR CONCRETE REPAIR WORK.
- PERFORM THE CONCRETE REPAIRS IN ACCORDANCE WITH THE DETAILS AND PROCEDURES SHOWN ON THESE PLANS.
- WATERPROOF SURFACE WITH AN ENGINEER APPROVED PRODUCT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- REPLACE STUCCO AND PAINT TO MATCH EXISTING

##### B. CRACK REPAIR

- ALL CRACKS LESS THAN 1/16" ARE TO BE DETAILED WITH ELASTOMERIC PATCHING COMPOUND. CRACKS SHALL BE BRIDGED APPROXIMATELY 2 INCHES ON EACH SIDE AND CROWNED IN CENTER DIRECTLY OVER CRACK, APPROXIMATELY 1/16" TO ALLOW FOR DYNAMIC MOVEMENT.
- ALL CRACKS GREATER THAN 1/16" AND LESS THAN 3/8" ARE TO BE ROUTED OPEN TO FORM A "U" OR "V" SHAPE, DUSTED CLEAN AND PACKED WITH A ONE PART URETHANE SEALANT WHICH SHALL BE FORCED INTO THE CRACK TO INSURE ADHESION TO THE INNER SURFACES.
- ANY CRACK LARGER THAN 3/8" SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTABLE STRUCTURAL REPAIR TECHNIQUES SUCH AS RECOMMENDED BY ICRI.

##### C. CORNERS AND EDGES OF CONCRETE SLABS (SEE DETAILS 1 & 2)

- CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN IN DETAILS.
- REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.
- APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PATCH WITH BASF'S LA40, OR EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

##### D. SPALLS AT TOP OF CONCRETE SLABS (SEE DETAIL 3)

- CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.
- REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PATCH WITH BASF'S LA40, OR EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

##### E. SPALLS AT SLAB SOFFITS (SEE DETAIL 4)

- REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.
- CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.
- REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.
- PATCH WITH BASF'S GEL PATCH, OR EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

##### F. SPALLS IN VERTICAL SURFACES AND COLUMNS (SEE DETAILS 5 AND 8)

- REMOVE ALL LOOSE CONCRETE UNTIL UN-CORRODED REBAR IS REACHED. PROVIDE 1/4" MINIMUM CLEARANCE AROUND EXPOSED BARS.
- REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PATCH WITH BASF'S GEL PATCH, OR EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- APPLY URETHANE WATERPROOFING.
- REPLACE STUCCO AND PAINT TO MATCH EXISTING.

##### G. SPALLS IN BEAMS (SEE DETAILS 6 AND 7)

- REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.
- CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.
- REMOVE HEAVY CORROSION FROM REBAR. WIRE BRUSH OR APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS.
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SEAL

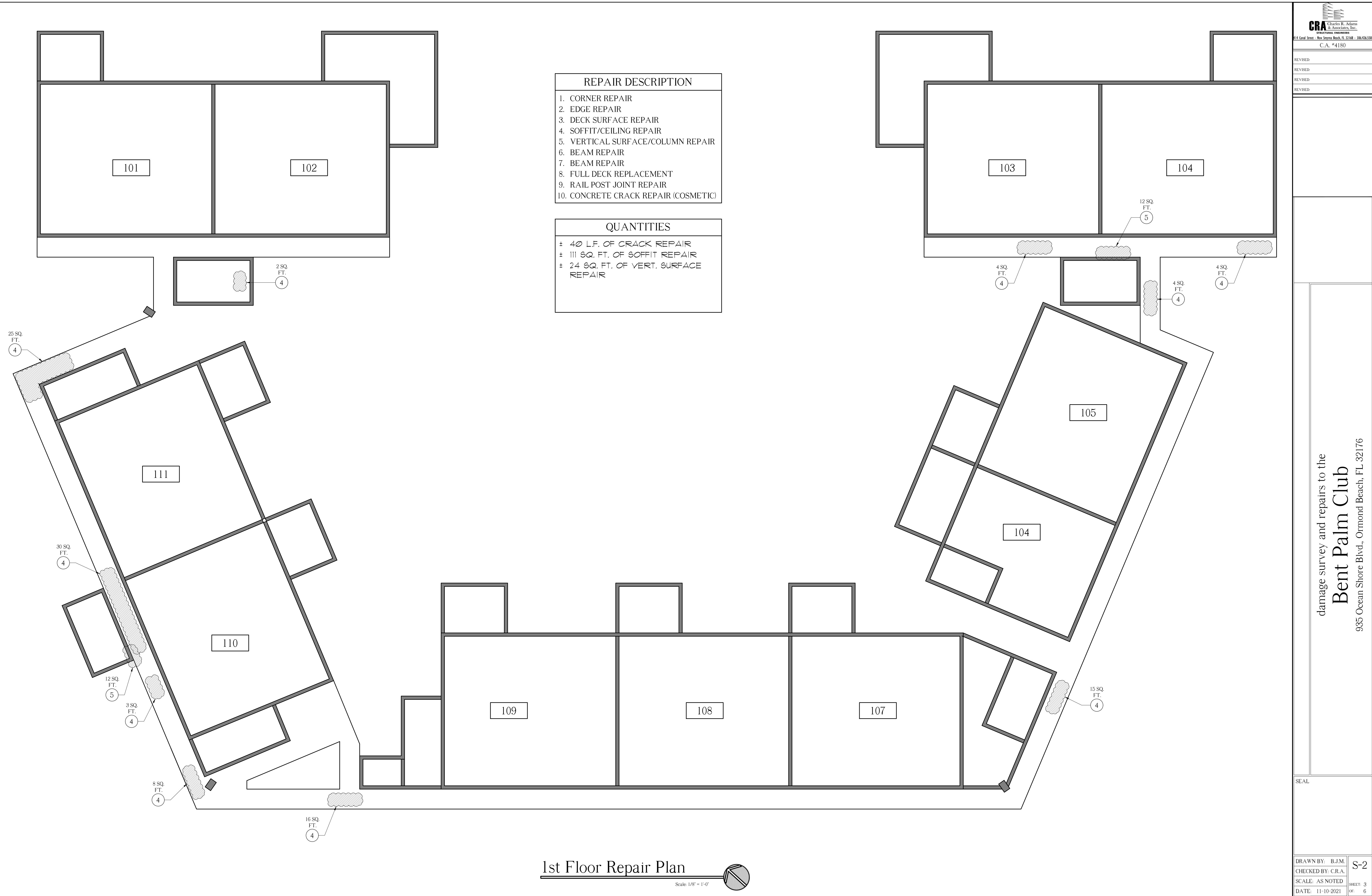
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CHECKED BY: C.R.A.

SCALE: AS NOTED

DATE: 11-10-2021

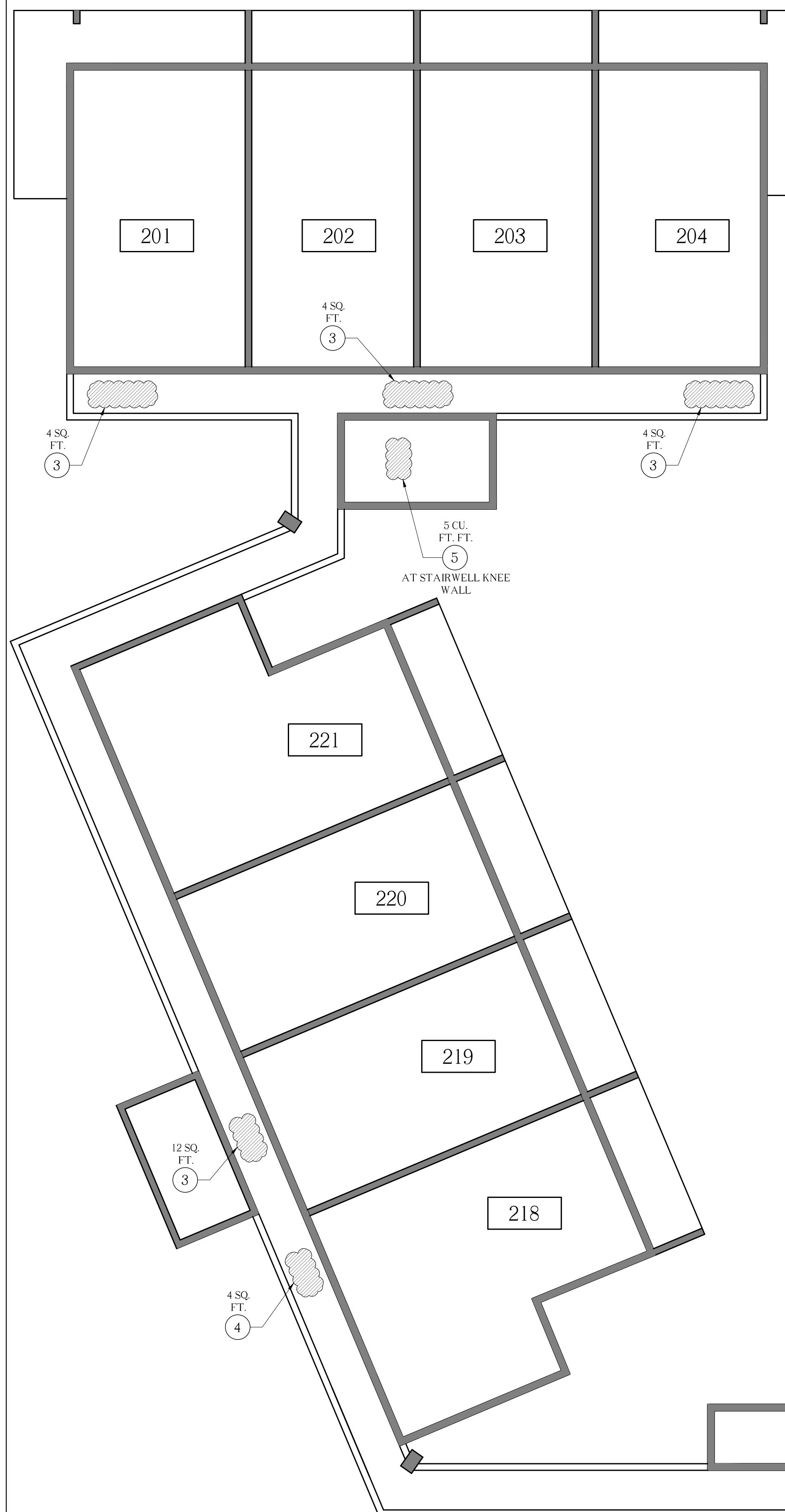
S-1  
OF: 6



**Bent Palm Club**  
935 Ocean Shore Blvd., Ormond Beach, FL 32176

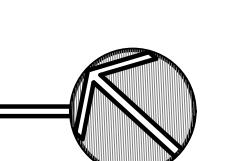
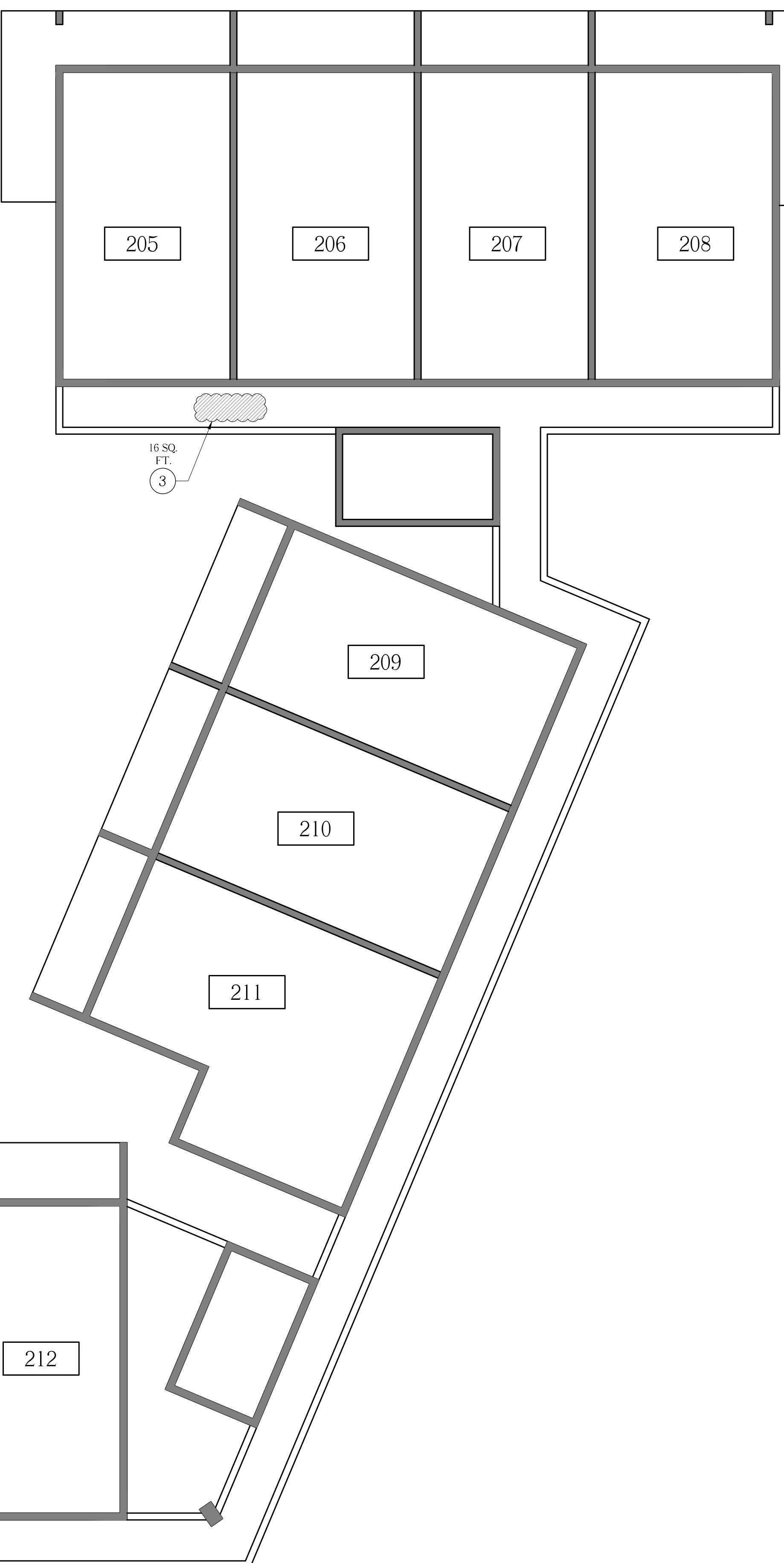
damage survey and repairs to the

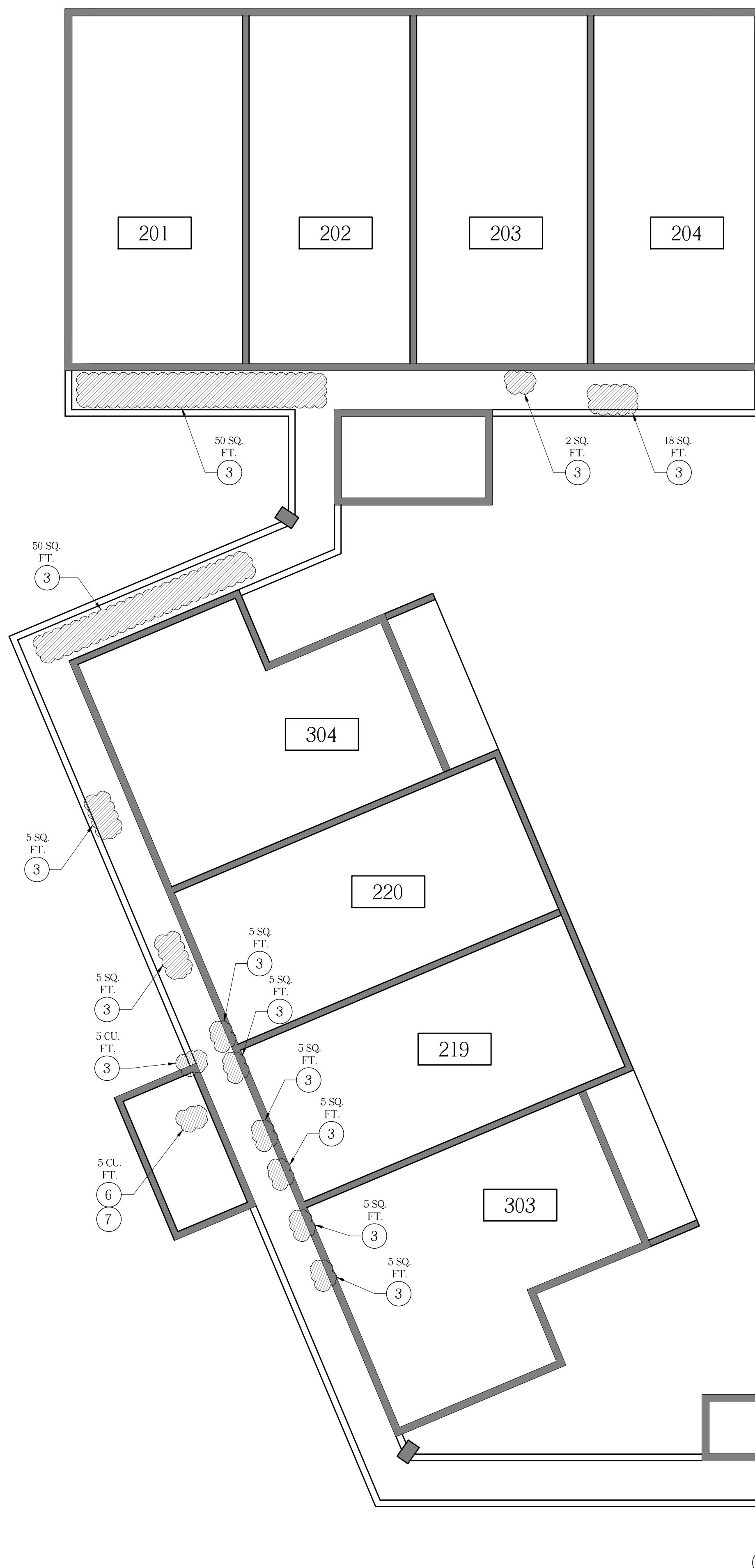
SEAL



REPAIR DESCRIPTION	
1.	CORNER REPAIR
2.	EDGE REPAIR
3.	DECK SURFACE REPAIR
4.	SOFFIT/CEILING REPAIR
5.	VERTICAL SURFACE/COLUMN REPAIR
6.	BEAM REPAIR
7.	BEAM REPAIR
8.	FULL DECK REPLACEMENT
9.	RAIL POST JOINT REPAIR
10.	CONCRETE CRACK REPAIR (COSMETIC)

QUANTITIES	
±	40 LF. OF CRACK REPAIR
±	4 SQ. FT. OF SOFFIT REPAIR
±	5 CU. FT. OF VERT. SURFACE REPAIR
±	45 SQ. FT. OF DECK SURFACE REPAIR



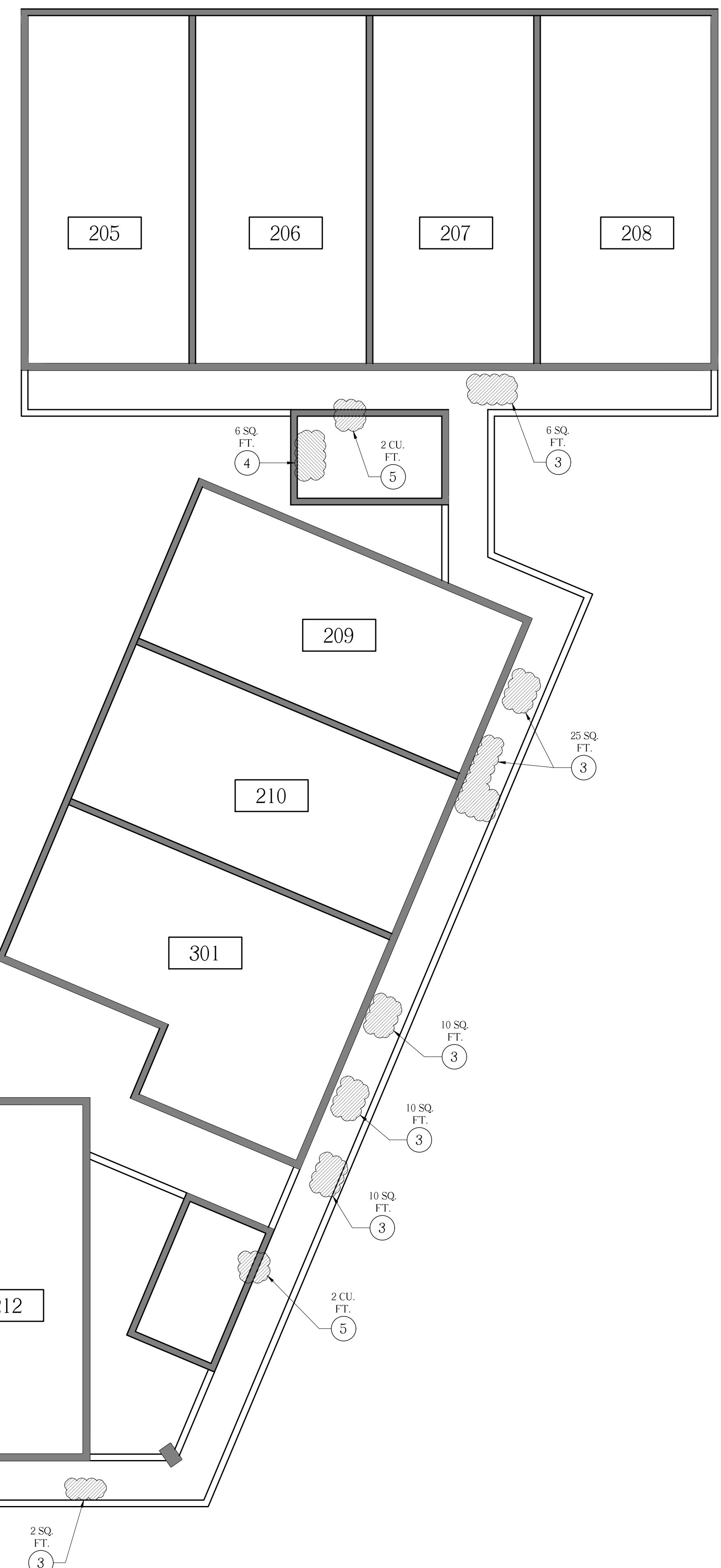


#### REPAIR DESCRIPTION

1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE/COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)

#### QUANTITIES

- ± 40 L.F. OF CRACK REPAIR
- ± 10 SQ. FT. OF SOFFIT REPAIR
- ± 14 CU. FT. OF VERT. SURFACE / COLUMN REPAIR
- ± 220 SQ. FT. OF DECK SURFACE REPAIR



3rd Floor Repair Plan

Scale 1/8" = 1'-0"

## REPAIR DESCRIPTION

1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE/COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)

## QUANTITIES

- ± 4 SQ. FT. OF SOFFIT REPAIR
- ± 10 SQ. FT. OF DECK SURFACE  
REPAIR

This architectural floor plan illustrates the layout of a building, featuring several rooms and exterior elements. The rooms are outlined in black, while exterior areas are shown in grey. Room numbers are indicated in boxes: 401, 402, 403, 405, and 405. Two exterior areas are labeled with dimensions: '5 SQ. FT.' and '4 SQ. FT.' Each dimension is associated with a specific area, likely a balcony or patio. The plan also includes a central entrance and various internal partitions and doorways.

# 4th Floor Repair Plan

Scale: 1/8" = 1'-0"

damage survey and repairs to the  
**Bent Palm Club**  
Ocean Shore Blvd., Ormond Beach, FL 3217

2000 Oceanmore Drive, Ocean Beach, CA 92110

AI

AWN BY: B.J.  
ECKED BY: C.R.  
ALE: AS NOTE  
TE: 11-10-2021

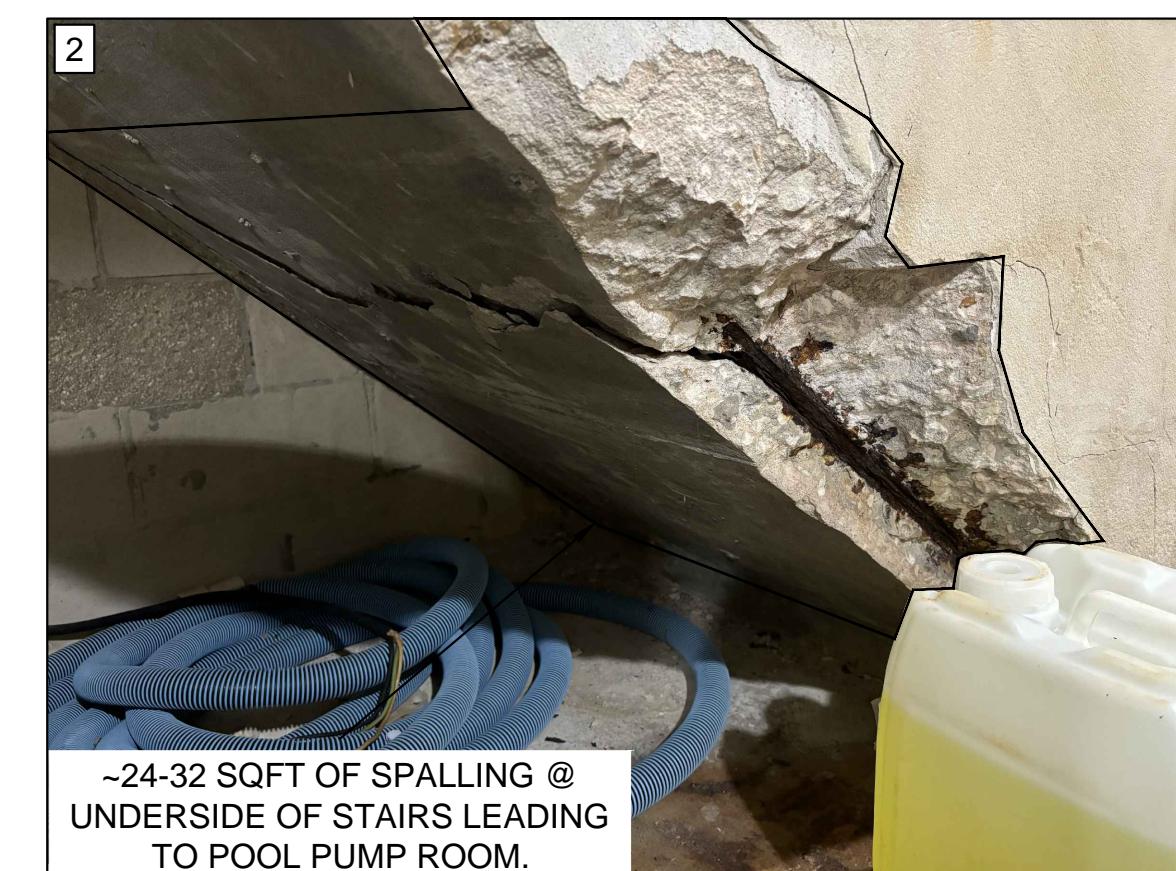
M.	S-5
A.	
D	SHEET: 6
1	OF: 6



VOLUSIA COUNTY PICTOMETRY: 935 OCEAN SHORE BLVD - BENT PALM COMMON AREA  
SCALE: N.T.S.



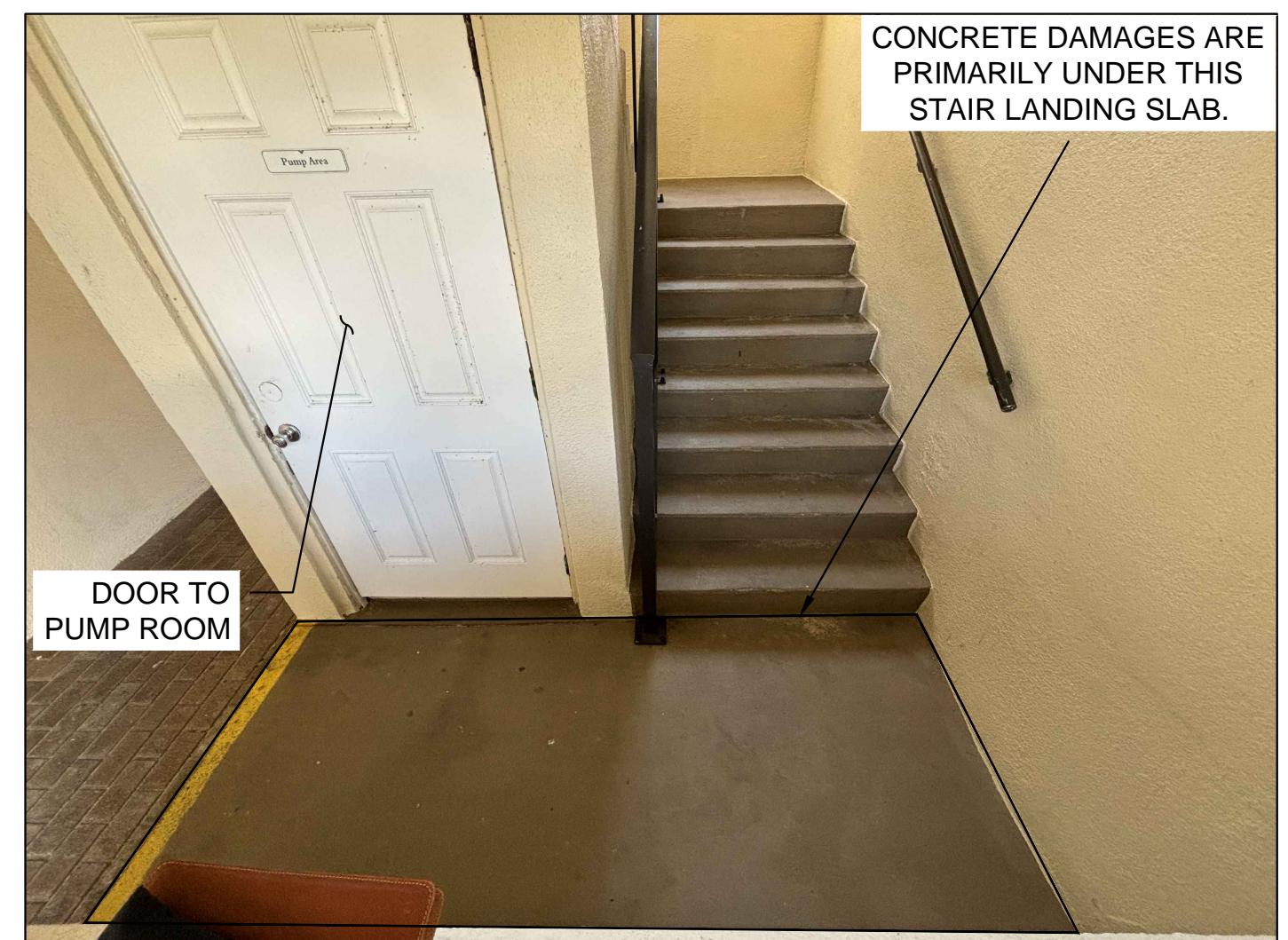
1 SQFT OF SPALLING  
AT SOUTHERN AIR  
VENT @ CAP



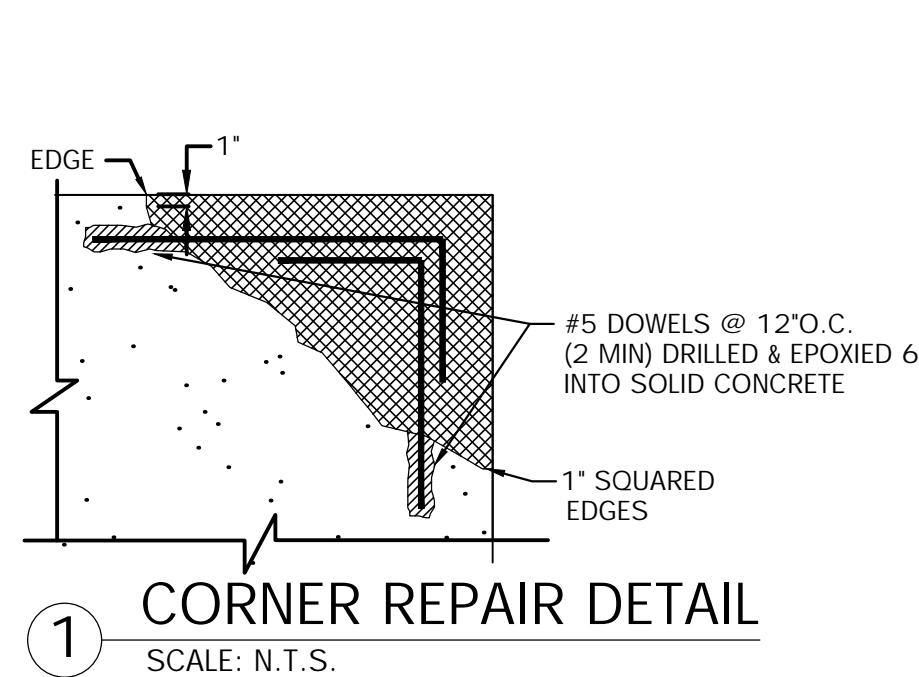
-24-32 SQFT OF SPALLING @  
UNDERSIDE OF STAIRS LEADING  
TO POOL PUMP ROOM.



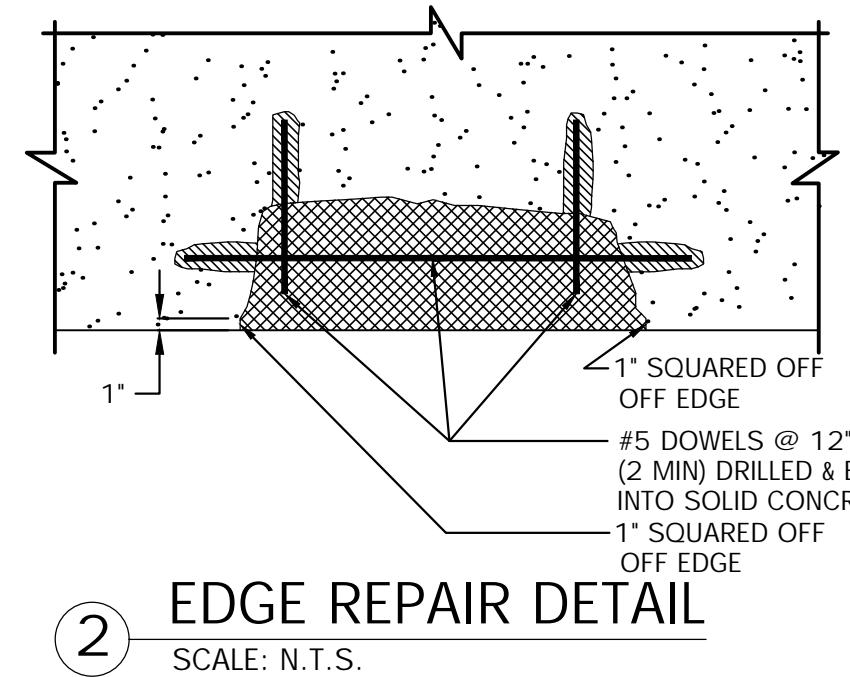
PHOTOS OF DAMAGE : UNDERSIDE OF CONCRETE STAIR IN POOL PUMP ROOM  
SCALE: N.T.S.



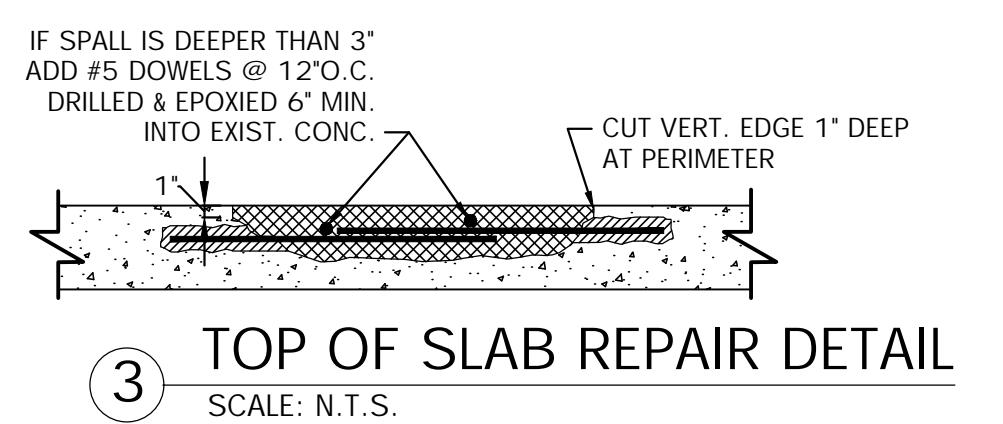
CHARLES R. ADAMS  
PROFESSIONAL ENGINEER  
NO. 15113  
FL. LICENSE NO. 15113  
CONCRETE REPAIR PLANS FOR POOL PUMP HOUSE AT  
935 OCEAN SHORE BLVD  
ORMOND BEACH, FL 32176



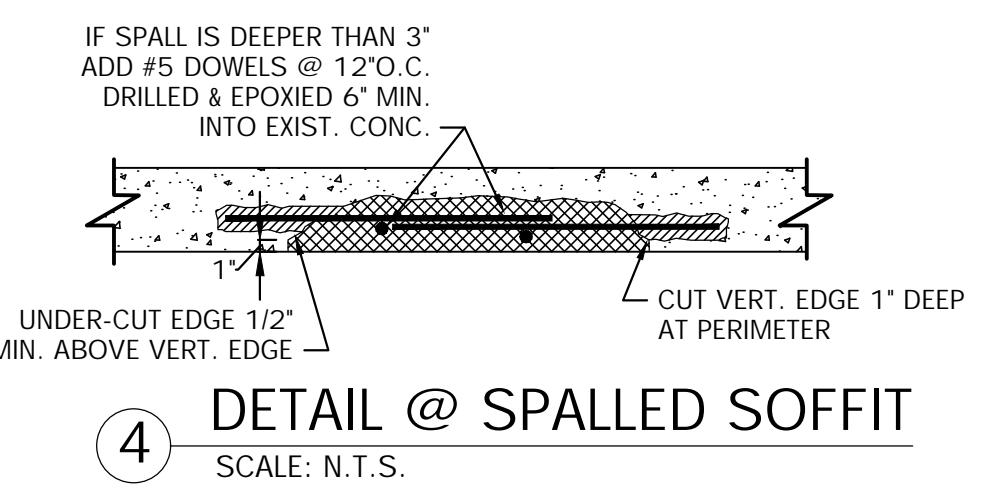
1 CORNER REPAIR DETAIL  
SCALE: N.T.S.



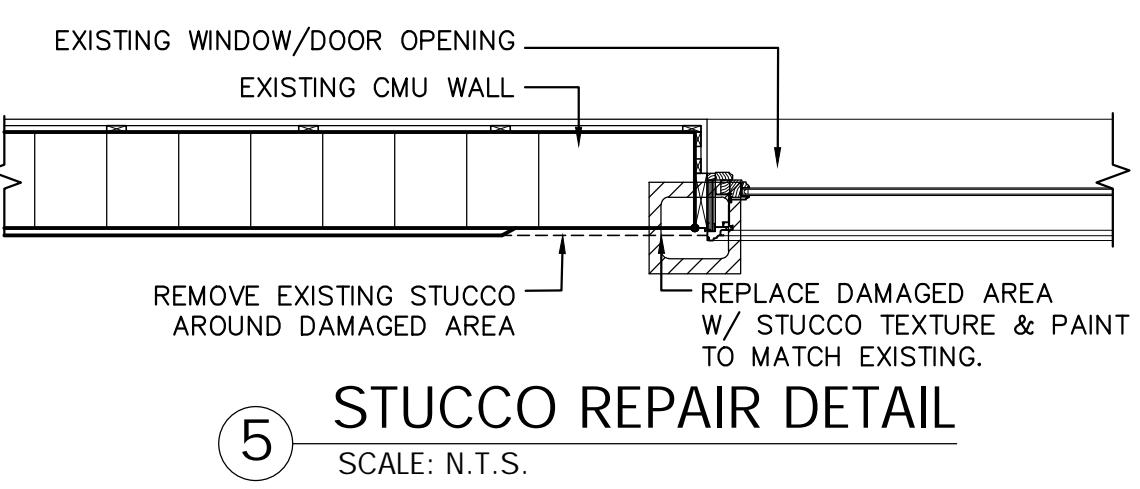
2 EDGE REPAIR DETAIL  
SCALE: N.T.S.



3 TOP OF SLAB REPAIR DETAIL  
SCALE: N.T.S.



4 DETAIL @ SPALLED SOFFIT  
SCALE: N.T.S.



5 STUCCO REPAIR DETAIL  
SCALE: N.T.S.

TYPICAL CONCRETE REPAIR DETAILS  
SCALE: N.T.S.

## BENT PALM CLUB

935 OCEAN SHORE BLVD  
ORMOND BEACH, FL 32176

CONCRETE REPAIR PLANS FOR POOL PUMP HOUSE AT

NO.	REVISION/ISSUE	DATE
X	PER .....	1/1
X	PER .....	1/1

CHARLES R. ADAMS  
PROFESSIONAL ENGINEER  
NO. 15113  
FL. LICENSE NO. 15113

DRAWN BY WEO	SHEET OF 2
CHECKED BY	
SCALE SEE DWG.	
DATE 11.26.2024	

1

## GENERAL NOTES

1. THESE DRAWINGS, NOTES & SPECIFICATIONS ARE PROVIDED BY THE ENGINEER FOR THE USE OF THE CLIENT FOR THIS PARCEL. ANY REUSE BY THE CLIENT OR ANOTHER PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

2. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES OR CHANGES PRIOR TO CONSTRUCTION.

3. THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS SHALL APPLY TO THE WORK THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTORS' PARTICULAR WORK WITH ALL OTHER SUBCONTRACTORS' WORK ASSOCIATED WITH THIS PROJECT. SCHEDULING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER APPROPRIATE TIMES TO PERFORM WORK.

4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION INSURANCE IN STATUTORY AMOUNT AS REQUIRED BY LAW. LIABILITY, BODILY INJURY, AUTOMOTIVE AND OTHER INSURANCE IN AMOUNTS AND FOR PERIODS SATISFACTORY TO GENERAL CONTRACTOR. TO THE FULLEST EXTENT PERMITTED BY LAW, THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND HIS CONSULTANTS, THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK AS ASSOCIATED WITH THIS PROJECT.

5. ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE STANDARD BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY REQUIRED BY THE BUILDING DEPARTMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO OR AT THE TIME OF PERMITTING. ANY REQUIRED CHANGES WILL BE SHOWN, AS DETERMINED BY THE ENGINEER IN REVISED DRAWINGS ISSUED TO THE GENERAL CONTRACTOR.

6. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL ARRANGEMENTS FOR OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS AND APPROVALS REQUIRED FOR HIS PORTION OF THE WORK.

7. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE DESIGNER OR ANY OF HIS ENGINEERS.

8. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE AWARE OF ALL COMMENTS AND NOTES MADE BY BUILDING OFFICIAL UPON THE PERMITTED, SEALED AND SIGNED JOB SITE SET OF CONSTRUCTION DOCUMENTS AND SHALL INCORPORATE ALL INFORMATION WITHIN THE APPLICABLE CONTRACTORS SCOPE OF WORK. IT SHALL AS WELL, BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP AS-BUILT SET OF CONSTRUCTION DOCUMENTS, AND TO NOTIFY THE DESIGNER AND ENGINEER OF ANY AND ALL CHANGES MADE DUE TO FIELD DIRECTIVES BY THE BUILDING INSPECTORS. AT SUBSTANTIAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL DELIVER THE AS-BUILT SET OF DRAWINGS TO THE ENGINEER, WITH ALL AUTHORIZED FIELD CHANGES CLEARLY MARKED IN RED INK AND PENCIL.

9. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE INDIVIDUALLY RESPONSIBLE FOR THE PROTECTION OF THE BUILDING OCCUPANTS FROM ALL HAZARDS ASSOCIATED WITH HIS PARTICULAR WORK. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE BUILDING OCCUPANTS.

10. WRITTEN DIMENSIONS AND NOTES ARE TYPICAL FOR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RESOLUTION.

11. THE GENERAL AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING AND PATCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANOTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR THE DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUBCONTRACTOR RESPONSIBLE.

12. THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES AND EQUIPMENT SPECIFICATION SHEETS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PLUMBING FIXTURES, APPLIANCES, CABINETRY AND FINISHES. ALL SUBMITTALS SHALL BE DELIVERED TO THE OWNER SUFFICIENTLY IN ADVANCE TO ALLOW FOR REVIEW AND CORRECTION OR APPROVAL. PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE OWNER.

13. ALL REQUIRED TESTS PERTAINING TO THIS PROJECT SHALL BE PERFORMED AT THE EXPENSE OF THE GENERAL CONTRACTOR, AND BY A LICENSED TESTING LABORATORY UNDER THE SUPERVISION OF A FLORIDA REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED EACH TIME A TEST IS COMPLETED.

14. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.

15. NO STRUCTURAL MEMBER SHALL BE CUT, REMOVED, OR MODIFIED (UNLESS SPECIFIED IN THE CONSTRUCTION DOCUMENTS) WITHOUT WRITTEN CONSENT OF THE ARCHITECT OR HIS ENGINEER.

16. ALL EXISTING DISTURBED OR DAMAGED SURFACES (I.E. DRYWALL, STUCCO, PAINT, ETC...) WITHIN THE AREA OF CONSTRUCTION, SHALL BE REPAIRED AS NECESSARY TO MATCH EXISTING FINISHES.

17. AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE FROM ANY PLASTER, PAINT SMEARS OR SPLATTER, AND THE BUILDING IS TO BE BROOM CLEANED.

18. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL PROVIDE AND INSTALL 2X4 WOOD BLOCKING BETWEEN STUDS FOR ANY BASE AND WALL MOUNTED CABINETRY AND SURFACE MOUNTED ACCESSORIES PRIOR TO THE INSTALLATION OF ANY WALL BOARD. PROVIDE BLOCKING EVEN IF THE CABINETRY AND ACCESSORIES AND (BY OTHERS OR NOT IN CONTRACT, INC.) CONTRACTOR SHALL MARK LOCATION OF BLOCKING ON WALL BOARD FOR USE BY INSTALLERS.

19. ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS AND PERFORMED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS, SHALL BE GIVEN A ONE (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION AND WITH THE OWNER'S APPROVAL OF SATISFACTION. DURING THIS PERIOD, THE CONTRACTOR AGREES TO REPAIR AND/OR REPLACE ANY WORK PERFORMED UNDER THE CONTRACT WHICH IS DEFECTIVE OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE WORKMANSHIP OF THE GENERAL CONTRACTOR'S WORK FORCE OR SUBCONTRACTORS.

20. PLANS: DRAWINGS ARE BASICALLY DIAGRAMS INTENDED TO DEPICT APPROXIMATELY EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW EVERY MINOR DETAIL. PLANS SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION AND DIMENSIONS.

## REPAIR PROCEDURES

### CRACK REPAIR

1. ALL CRACKS LESS THAN 1/16" ARE TO BE DETAILED WITH ELASTOMERIC PATCHING COMPOUND. CRACKS SHALL BE BRIDGED APPROXIMATELY 2" ON EACH SIDE AND CROWNED IN CENTER DIRECTLY OVER CRACK, APPROXIMATELY 1/16" TO ALLOW FOR DYNAMIC MOVEMENT.
2. ALL CRACKS GREATER THAN 1/16" AND LESS THAN 3/8" ARE TO BE ROUTED OPEN TO FORM A "U" OR "V" SHAPE, DUSTED CLEAN AND PACKED WITH A ONE PART URETHANE SEALANT WHICH SHALL BE FORCED INTO THE CRACK TO INSURE ADHESION TO THE INNER SURFACES.
3. ANY CRACK LARGER THAN 3/8" SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTABLE STRUCTURAL REPAIR TECHNIQUES SUCH AS RECOMMENDED BY ICR.

### CORNERS AND EDGES OF CONCRETE SLABS (DETAILS 1&2)

1. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN IN DETAILS.
2. REMOVE HEAVY CORROSION FROM REBAR, APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUF. SPECS.
3. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.
4. APPLY BASF's Protectosil CIT (OR EQUAL) TO ALL REBAR IN ACCORDANCE WITH THE MANUF. SPECS.
5. PATCH WITH BASF's MasterEmaco S440 (OR EQUAL) IN ACCORDANCE WITH THE MANUF. SPECS.

### PREPARATION PROCEDURE BEFORE PAINTING

1. THOROUGHLY WASH SURFACES TO BE PAINTED WITH A MIXTURE OF ONE QUART HOUSEHOLD BLEACH, ONE TABLESPOON NON-AMMONIA DETERGENT, AND THREE QUARTS OF WARM WATER OR ANY COMMERCIALLY AVAILABLE MILDEWICIDE TO REMOVE MILDEW AND/OR ALGAE AND OTHER POLLUTANTS AS NECESSARY. RINSE WITH CLEAN WATER.
2. PRESSURE CLEAN AT 3,000 PSI MINIMUM ALL EXTERIOR WALL SURFACES, ROOF STRUCTURES, AND EXTERIOR CEILINGS.
3. ALL LOCATIONS WHERE PEELING OF EXISTING COATING OCCURS MUST BE CLEANED AND DAMAGED COATING REMOVED DOWN TO A WELL ADHERED BONDABLE SURFACE.

### SPALLS AT TOP OF CONCRETE SLABS (DETAIL 3)

1. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN IN DETAIL.
2. REMOVE HEAVY CORROSION FROM REBAR, APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUF. SPECS.
3. APPLY BASF's Protectosil CIT (OR EQUAL) TO ALL REBAR IN ACCORDANCE WITH THE MANUF. SPECS.
4. PATCH WITH BASF's MasterEmaco S440 (OR EQUAL) IN ACCORDANCE WITH THE MANUF. SPECS.

### SPALLS AT SLAB SOFFITS (DETAIL 4)

1. REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.
2. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.
3. REMOVE HEAVY CORROSION FROM REBAR, APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUF. SPECS.
4. APPLY BASF's Protectosil CIT (OR EQUAL) TO ALL REBAR IN ACCORDANCE WITH THE MANUF. SPECS.
5. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.
6. PATCH WITH BASF's MasterEmaco S440 (OR EQUAL) IN ACCORDANCE WITH THE MANUF. SPECS.

### NOTES:

1. CONTRACTOR TO INSTALL ZINC ANODES (GALVASHIELD XP BY VECTOR OR EQUAL) @ 24" O.C. AROUND PERIMETER OF PATCH FOR REPAIRS DEEPER THAN 4" AND OVER 3 SQ. FT.
2. THESE PLANS CONFORM TO THE 2024 FLORIDA BUILDING CODE.

## CONCRETE NOTES

1. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.
2. ALL DIMENSIONS ARE TAKEN FROM OUT TO OUT OF CONCRETE, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, SHALL VERIFY EXISTING TOPOGRAPHY AND GRADE ELEVATIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE PROJECT.
4. SOIL BEARING VALUES: FOUNDATION DESIGNS SHOWN HERE ARE BASED ON A SOIL BEARING VALUE OF 2500 PSF. FOUNDATIONS AND SLABS ARE DESIGNED TO UNIFORMLY BEAR ON WELL COMPAKTED, WELL DRAINED NON EXPANSIVE SOILS. A CERTIFIED SOILS ENGINEER SHALL REVIEW FOUNDATION DESIGNS, BUILDING LOADS AND COMPARE WITH SUBSURFACE SOIL INVESTIGATION RECOMMENDATIONS. SHOULD ON-SITE OBSERVATIONS SHOW THAT FOOTINGS SHOWN HERE ARE NOT SATISFACTORY, THE ARCHITECT SHALL BE CONTACTED IMMEDIATELY FOR NEW DESIGNS.
5. CONCRETE STRENGTH: MINIMUM CONCRETE STRENGTH FOR ALL SLABS, PATIOS AND FOUNDATIONS SHALL BE MINIMUM 3000 PSI AFTER 28 DAYS.
6. PARTITION ANCHORS: SECURE ALL INTERIOR NON SHEAR WALL NONLOAD BEARING PARTITIONS WITH CUT NAILS OR RAMSET ANCHORS SPACED 4'-0" O.C. MAXIMUM, MINIMUM 2 ANCHORS PER PLATE.
7. SLAB FINISH: PROVIDE STEEL TROWEL FINISH FOR ALL INTERIOR SLAB AREAS. CREATE BROOM FINISH TEXTURE FOR ALL EXTERIOR SLABS.
8. REFRIGERANT PIPING SLEEVE: PROVIDE UNDER SLAB PVC PIPE SLEEVE FROM COMPRESSOR PADS TO HVAC LOCATION. WHEN INSTALLATION OF LINES AND EQUIPMENT IS COMPLETE, FILL VOID AT INTERIOR AND EXTERIOR OF SLAB WITH EXPANDABLE FOAM INSULATION TO COMPLETELY SEAL PVC SLEEVE AT ENDS. VERIFY LOCATION OF SLEEVE AT INTERIOR AND EXTERIOR OF HOUSE WITH HVAC EQUIPMENT SPECIFICATION.
9. PLUMBING FIXTURES: DOTTED LINES INDICATE GENERAL PLUMBING FIXTURE LOCATION. REFER TO FLOOR PLAN AND VERIFY SPECIFIC FIXTURE LOCATIONS WITH ACTUAL EQUIPMENT REQUIREMENTS.
10. COMPRESSOR CONDENSER PADS: PROVIDE CONCRETE SLAB FOR AIR CONDITIONER COMPRESSOR AS REQUIRED BY EQUIPMENT MANUFACTURER, COORDINATE PLACEMENT OF SLAB WITH FINISH GRADING AT COMPRESSOR LOCATION.
11. FOOTINGS AND FOUNDATIONS CONSTRUCTION: FOOTINGS SHALL BE LEVEL OR SHALL BE STEPPED SO THAT BOTH TOP AND BOTTOM OF SUCH FOOTINGS ARE LEVEL. THE BOTTOM OF ALL FOOTINGS, SHALL BE A MINIMUM OF 12 INCHES BELOW FINISHED GROUND LINE. THE OUTER BAR OF FOUNDATION STEEL SHALL BE CONTINUOUS AROUND CORNERS USING CORNER BARS OR BY BENDING THE BAR. IN BOTH CASES, THE MINIMUM BAR LAP SHALL BE 48X BAR DIAMETER. (SEE DETAILS).
12. HOT WEATHER REQUIREMENTS: DURING HOT WEATHER, PROPER ATTENTION SHALL BE GIVEN TO INGREDIENTS, PRODUCTION METHODS, HANDLING, PLACING, PROTECTION AND CURING TO PREVENT EXCESSIVE CONCRETE TEMPERATURES OR WATER EVAPORATION THAT COULD IMPAIR THE REQUIRED STRENGTH OR SERVICEABILITY OF THE MEMBER OR STRUCTURE.

## REINFORCING STEEL

1. ALL REINFORCING STEEL BE DETAILED AND PLACED IN CONFORMANCE WITH ACI 318-14 AND THE LATEST DETAILING MANUAL – 2008.
2. ALL REINFORCING STEEL SHALL BE ASTM A16 GRADE 60 BEAM STIRRUPS AND COMPLY WITH THE GRADE.
3. ALL BARS BENDS SHALL BE MADE COLD.
4. DOWELS BETWEEN FOUNDATIONS AND WALLS OR COLUMNS SHALL BE SAME GRADE, SIZE, AND SPACING AS THE VERTICAL REINFORCING.
5. CONTRACTOR SHALL SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR ARCHITECT/ENGINEER'S REVIEW AND APPROVAL PRIOR TO FABRICATION.
6. REINFORCING BAR SHALL BE IN LENGTHS AS LONG AS PRACTICAL AND SHALL BE LAPPED AT SPLICES AND CORNERS NOT LESS THAN 32 BAR DIAMETER (24" MIN) UNLESS NOTES OTHERWISE STAGGER HORIZONTAL WALL SPLICES 4FT AND AT POINTS OF MAXIMUM STRESS.
7. CONTRACTOR SHALL VERIFY THAT ALL REINFORCING, SLEEVES, ANCHORS, AND IMPLANTS ARE PROPERLY PLACED AND SECURED PRIOR TO CONCRETE PLACEMENT.
8. ALL ANCHOR BOLTS ARE TO BE HILTI KWIK BOLT TZ, INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS, OR APPROVED EQUAL.
9. ALL WIRE MESH SHALL MEET ASTM A-185 LAPS TO BE ONE MESH OR 8" WHICHEVER IS GREATER.
10. ALL ACCESSORIES SHALL BE PLASTIC.
11. SUPPORT BARS SHALL BE #4 MIN. ENDS OF PRINCIPAL REINFORCING SHALL NOT TEND MORE THAN 12" BEYOND OUTERMOST SUPPORT.
12. PROVIDE PLASTIC ACCESSORIES THAT INSURE VERTICAL REINFORCEMENT IS MAINTAINED AT 2" CLEAR OF FORMING.

## BENT PALM CLUB

935 OCEAN SHORE BLVD  
ORMOND BEACH, FL 32176

## CONCRETE REPAIR PLANS FOR POOL PUMP HOUSE AT

NO.	REVISION/ISSUE	DATE
X	PER .....	11
X	PER .....	11

CHARLES R. ADAMS  
PROFESSIONAL ENGINEER  
LIC#15113  
NO. 15113  
FL. LICENSE NO. 15113  
CHARLES R. ADAMS  
LIC#15113  
NO. 15113  
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CHARLES R. ADAMS  
LIC#15113  
NO. 15113  
FL. LICENSE NO. 15113

DRAWN BY WEO	SHEET OF 2
CHECKED BY	S2
SCALE SEE DWG.	
DATE 11.26.2024	



**CRA** Charles R. Adams  
& Associates, Inc.  
STRUCTURAL ENGINEERS  
Certificate of Authorization Number 4180  
414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

**935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176**

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #1  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on October 5, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Mr. Sandy Norton, a Foreman for R&J Coatings & Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure. As of the time of this inspection, preparation for repairs, such as marking the repair areas, was underway at the northeast building's stairway and elevated walkways. Damage location was also underway at the northwest building's 1<sup>st</sup> floor beams & exterior walls and elevated walkways on the 2<sup>nd</sup> & 3<sup>rd</sup> floors.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #2  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on October 19, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Mr. Sandy Norton, a Foreman for R&J Coatings & Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure. As of the time of this inspection, repair was underway at the northeast building's stairway, exterior walls, columns, beams, and elevated walkways. Damage location was also underway at the northwest building's 1<sup>st</sup> floor beams & exterior walls and elevated walkways on the 2<sup>nd</sup> & 3<sup>rd</sup> floors.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #3  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on November 2, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Mr. Sandy Norton, a Foreman for R&J Coatings & Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure. As of the time of this inspection, repair was underway at the northwest building's stairway, exterior walls, columns, beams, and elevated walkways. Demolition had taken place at the partial slab replacement on the third-floor northeast corner of the northwest building. Shoring was properly placed, and formwork was properly installed. Rebar was being supplemented, tied, and treated, during our inspection, in preparation for concrete placement. We approved concrete placement, upon completion of the aforementioned items, at the contractor's earliest convenience.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E.  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



Repairs Underway (13)



Repairs Underway (14)



Repairs Underway (15)



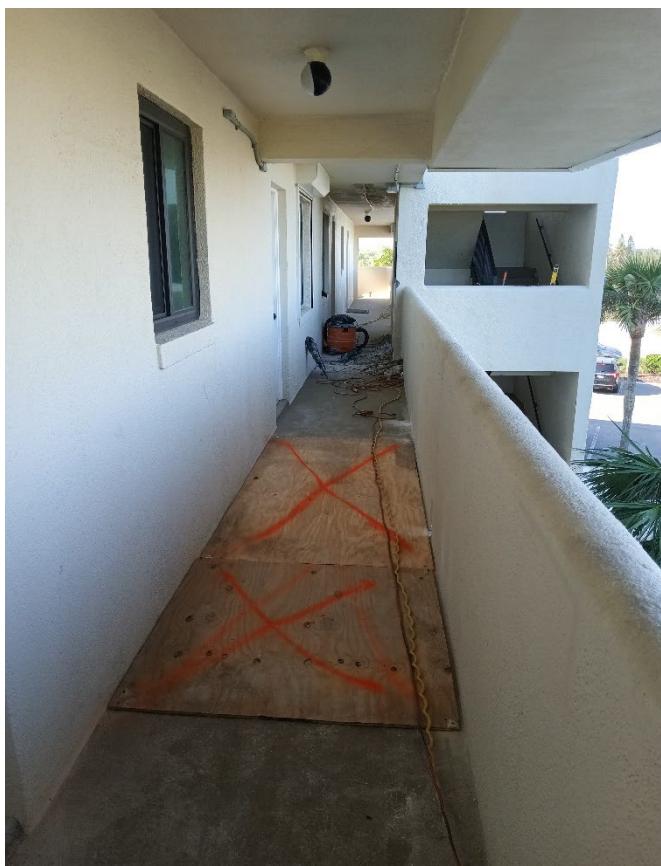
Repairs Underway (16)



Repairs Underway (17)



Repairs Underway (18)



Repairs Underway (19)



Repairs Underway (20)



**CRA** Charles R. Adams  
& Associates, Inc.  
STRUCTURAL ENGINEERS  
Certificate of Authorization Number 4180  
414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

**935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176**

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City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
**ATTN:** Mr. Thomas Griffith, CBO

**CC:** Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
**ATTN:** Mr. Bill Spinelli, President

**RE:** Bent Palm Club  
Structural Inspection #4  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on November 4, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the northwest building's elevated walkway as well as water intrusion concerns in the north most unit on the third floor of the west building.

We coordinated with Mr. Jon Bickel & Mr. Bob Geary, Supervisors for R&J Coatings and Waterproofing Inc., and Mr. Bill Spinelli, President of the Board of Directors at the Bent Palm Club, to conduct inspections in areas related to the scope of work for the repair of the subject structure and areas of concern regarding past water intrusion.

As of the time of this inspection, repair was underway at the northwest building's 3<sup>rd</sup> floor elevated walkway. Demolition was complete, shoring was properly placed, reinforcing was properly supplemented, tied, & treated, and formwork was properly installed. Concrete placement was underway during our inspection. The mix was properly hydrated, and the installation was being properly executed, with concrete being forced into the corners of the formwork, and the surface being screeded and floated to achieve a level and smooth finish.

We also inspected east facing areas on the 4<sup>th</sup> floor in the west building, north most unit. There were signs of previous water intrusion, and there was an attempt to deduce the cause of this moisture penetration. We verified that the DensGlass siding was properly installed, and likely not the cause of water intrusion. It is meant for exterior use and exposure to moisture will not cause it to fail like drywall. In addition, we inspected the window, which appeared to be properly installed, with an embedment of caulking around the frame, caulking on the fasteners, and caulking around the perimeter. There was a significant area of damage at the soffit above this unit, and the roof had several deficiencies, according to R & J Coatings. It is likely that during the recent Hurricane, water was forced in through the weep holes and penetrated the wall framing. This is not a major concern, due to the fact that it was likely caused by adverse weather conditions, and not regular exposure. If this condition persists, we recommend repairing the obvious damages first, such as the roof, and the soffit. If this does not yield results, then we recommend hiring a leak detection or thermal imaging inspector to see if they can narrow down the location of the leak. In addition to this, it would be prudent to re-caulk the windows and, if necessary, have the windows removed and bedded in caulk again.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*. Additionally, it is our opinion that water intrusion to the north most unit on the west building was caused by inclement weather conditions and does not pose a serious concern at the moment. If this issue persists, please feel free to contact our office for further recommendations.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Location of Water Intrusion (1)



Location of Water Intrusion (2)



Location of Water Intrusion (3)



Location of Water Intrusion (4)



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



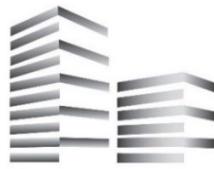
Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #5  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on November 16, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the northwest building's elevated walkway as well as water intrusion concerns in the north most unit on the third floor of the west building.

We coordinated with Sandy Norton, Foreman for R&J Coatings and Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure.

As of the time of this inspection, repair was underway at the northwest building's 3<sup>rd</sup> floor elevated walkway. Concrete placement was complete for the elevated walkway, and concrete had just been poured for the knee wall. There were miscellaneous other repairs demolished and prepped on the northwest building's 3<sup>rd</sup> floor elevated walkway. We approved additional concrete placement at the contractor's earliest convenience.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*. Additionally, it is our opinion that water intrusion to the north most unit on the west building was caused by inclement weather conditions and does not pose a serious concern at the moment. If this issue persists, please feel free to contact our office for further recommendations.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



Repairs Underway (13)



Repairs Underway (14)



Repairs Underway (15)



Repairs Underway (16)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club  
Structural Inspection #6  
COBBD Permit # 22-00006699**

Mr. Griffith:

This is to inform you that on November 30, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the northwest building's elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Sandy Norton, Foreman for R&J Coatings and Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure.

As of the time of this inspection, repair was underway at the northwest building's 3<sup>rd</sup> floor elevated walkway. Additional concrete placement was complete for the elevated walkway, and additional concrete had just been poured for the knee wall. There were miscellaneous other repairs demolished and prepped on the northwest building's 3<sup>rd</sup> & 2<sup>nd</sup> floor elevated walkways. We approved additional concrete placement, upon the completion of further preparation work, at the contractor's earliest convenience.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



Repairs Underway (13)



Repairs Underway (14)



Repairs Underway (15)



Repairs Underway (16)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

**935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176**

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #7  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on December 28, 2022, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the building's elevated walkways, stairways, beams, columns, exterior walls, and knee walls. In addition, we reviewed the upcoming repair areas with Jon Bickle, manager of R & J Coatings and Waterproofing Inc., to make sure the budget number was sufficient.

We coordinated with Sandy Norton, Foreman for R&J Coatings and Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure.

As of the time of this inspection, repair was underway at the southwest building's 2<sup>nd</sup> & 3<sup>rd</sup> floor elevated walkways. There were miscellaneous other repairs demolished and prepped on the southwest building's elevated walkways. We approved additional concrete placement, upon the completion of further preparation work, at the contractor's earliest convenience.

Upon secondary review, both Jon Bickle and our office feel, in an effort to not exceed final budgetary numbers, at all costs, 30 ft<sup>3</sup> of additional repair allowance should be budgeted. This is an allowance for repair of the demolition work now underway by the plumbing company. This will also allow for any partial wall replacement that may be required in order to repair walkways which support the wall. The cost for this additional material would be \$400 / ft<sup>3</sup>. This would mean the total addition to the allowance would be \$12,000. The original allowance amount was \$62,400, and now with this additional cushion, we shall budget \$74,400 total. I don't think there is any way we will reach this number, but that is the goal. To have a budgetary number which we will 100% not exceed.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



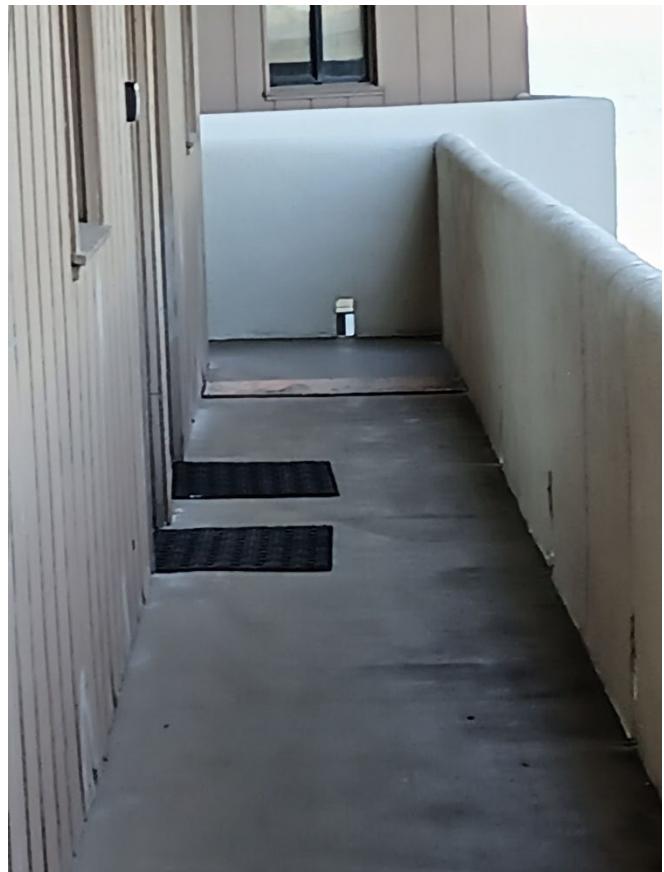
Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



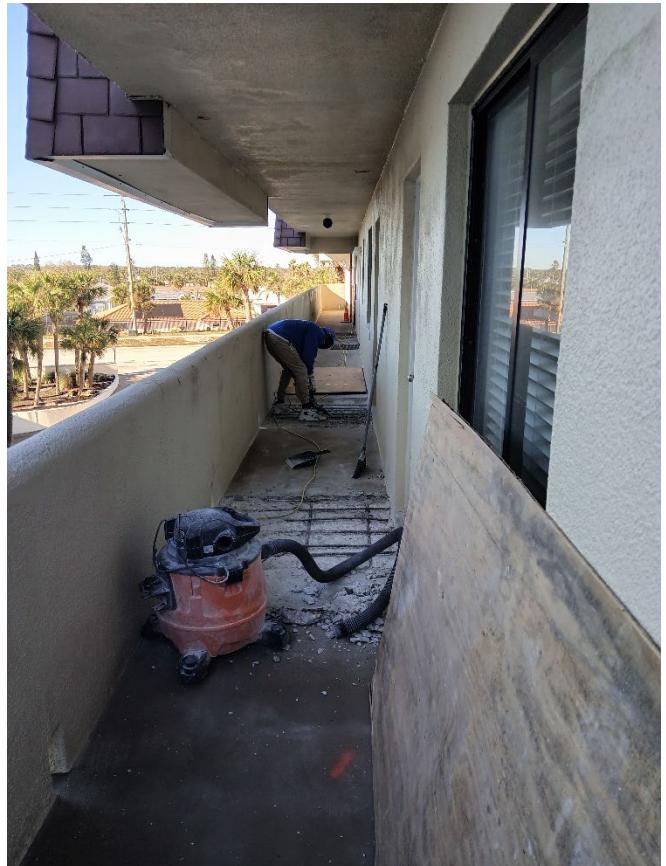
Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



Repairs Underway (13)



Repairs Underway (14)



Repairs Underway (15)



Repairs Underway (16)



Repairs Underway (17)



Repairs Underway (18)



Repairs Underway (19)



Repairs Underway (20)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #8  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on January 11, 2023, our office performed a visual inspection of the work in progress at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the building's elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Sandy Norton, Foreman for R&J Coatings and Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure.

As of the time of this inspection, repair continued at the southwest building's 2<sup>nd</sup> & 3<sup>rd</sup> floor elevated walkways. There were miscellaneous other repairs demolished and prepped on the southwest building's elevated walkways. Coatings were also in progress during our inspection. We approved additional concrete & coating placement, upon the completion of further preparation work, at the contractor's earliest convenience.

We recommend the building plan to have full deck coatings and full building painting done as soon as financially possible. The current repair areas have just been touch-up painted, and the difference between old coatings and new ones is extremely visible.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

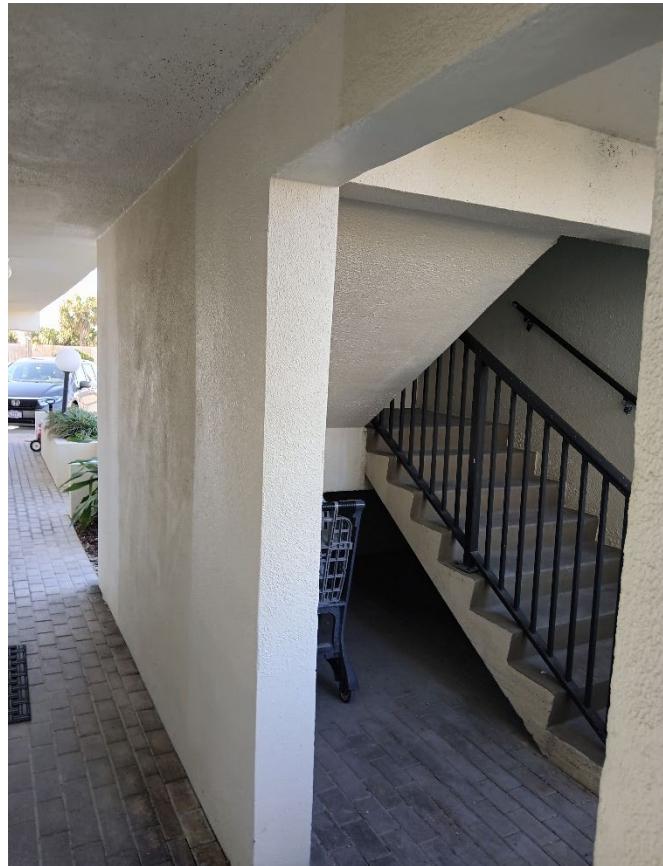
Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



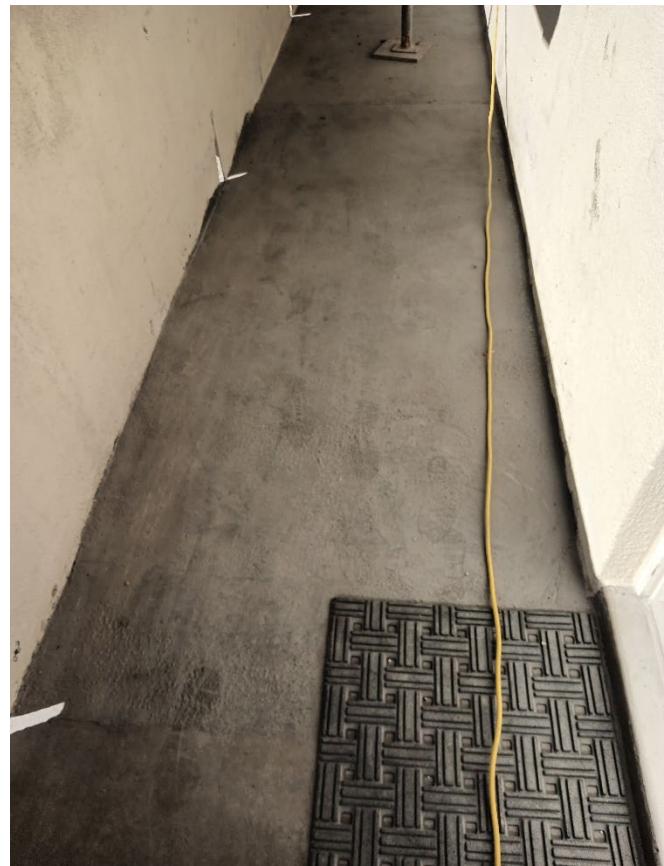
Repairs Underway (13)



Repairs Underway (14)



Repairs Underway (15)



Repairs Underway (16)



Repairs Underway (17)



Repairs Underway (18)



Repairs Underway (19)



Repairs Underway (20)



Repairs Underway (21)



Repairs Underway (22)



Repairs Underway (23)



Repairs Underway (24)



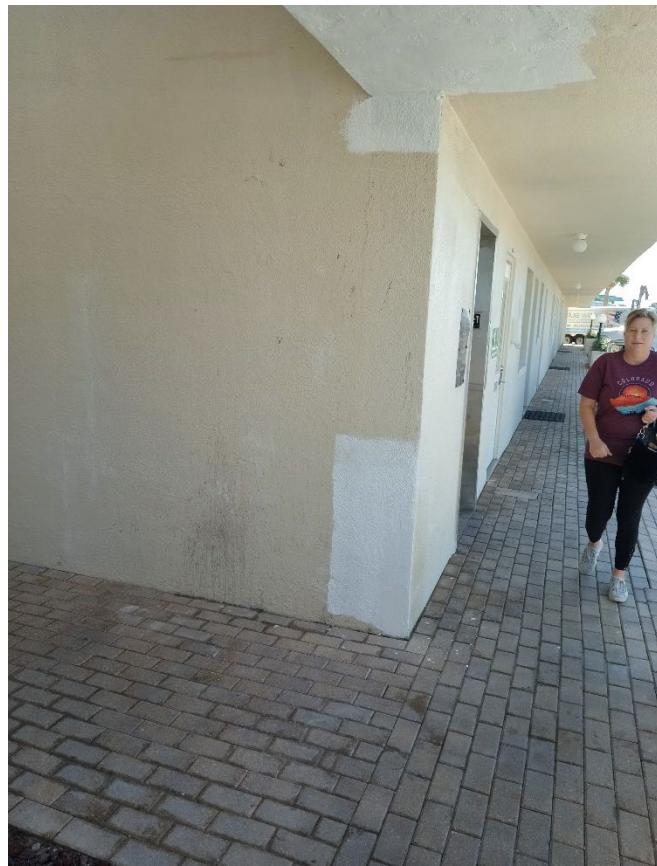
Repairs Underway (25)



Repairs Underway (26)



Repairs Underway (27)



Repairs Underway (28)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #9  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on January 25, 2023, our office performed a visual inspection of the work in progress and complete at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit # 22-00006699. We inspected all work being performed on the building's elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Billy Hardy, Foreman for R&J Coatings and Waterproofing Inc., to conduct inspections in areas related to the scope of work for the repair of the subject structure.

As of the time of this inspection, repair had been completed at the southwest building's 2<sup>nd</sup> & 3<sup>rd</sup> floor elevated walkways. Wall coatings were underway during our inspection. We approved additional coating placement, at the contractor's earliest convenience.

We recommend the building plan to have full deck coatings and full building painting done as soon as financially possible. The current repair areas have just been touch-up painted, and the difference between old coatings and new ones is extremely visible.

It is our professional opinion that work done thus far to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Underway (1)



Repairs Underway (2)



Repairs Underway (3)



Repairs Underway (4)



Repairs Underway (5)



Repairs Underway (6)



Repairs Underway (7)



Repairs Underway (8)



Repairs Underway (9)



Repairs Underway (10)



Repairs Underway (11)



Repairs Underway (12)



Repairs Underway (13)



Repairs Underway (14)



Repairs Underway (15)



Repairs Underway (16)



**Repairs Underway (17)**



**Repairs Underway (18)**



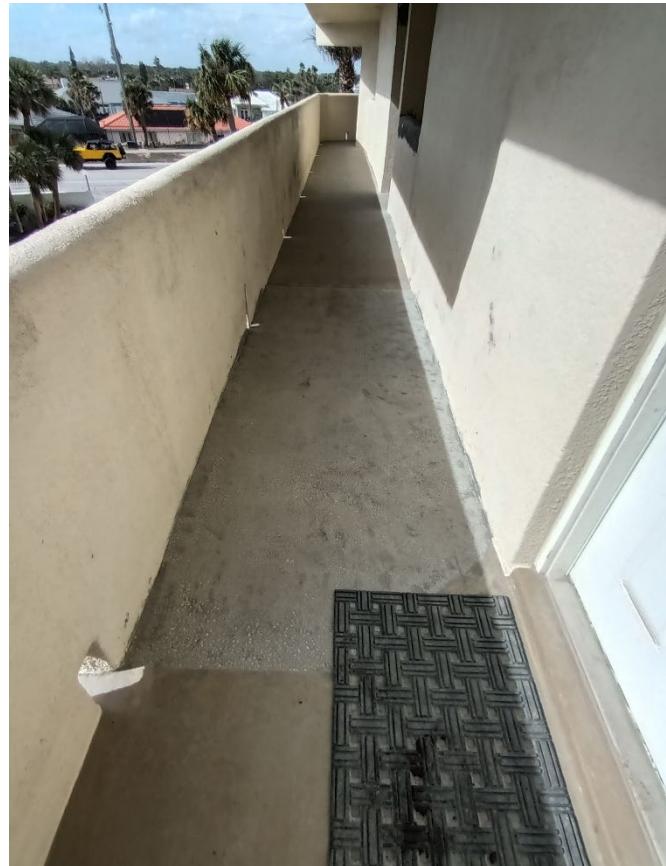
**Repairs Underway (19)**



**Repairs Underway (20)**



Repairs Underway (21)



Repairs Underway (22)



Repairs Underway (23)



Repairs Underway (24)



Repairs Underway (25)



Repairs Underway (26)



Repairs Underway (27)



Repairs Underway (28)



Repairs Underway (25)



Repairs Underway (26)



Repairs Underway (27)



Repairs Underway (28)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Mr. Bill Spinelli, President*

**RE: Bent Palm Club**  
Structural Inspection #10  
COBBD Permit # 22-00006699

Mr. Griffith:

This is to inform you that on February 9, 2023, our office performed a **FINAL** visual inspection of completed work at the Bent Palm Club, located at the above-mentioned address, under the City of Ormond Beach Permit# 22-00006699. We inspected all work being completed on the building's elevated walkways, stairways, beams, columns, exterior walls, and knee walls.

We coordinated with Billy Hardy, Foreman for R&J Coatings and Waterproofing Inc., to conduct an inspection in the areas related to the scope of work for the repair of the subject structure.

As of the time of this inspection, repair had been completed at the southwest building's 2<sup>nd</sup> & 3<sup>rd</sup> floor elevated walkways. Deck repairs had been primed & wall coatings for the repair areas had been completed.

We recommend the building plan to have full deck coatings and full building painting done as soon as financially possible. The current repair areas have just been primed and/or touch-up painted, and the difference between old coatings and new ones is extremely visible.

It is our professional opinion that work completed to the northeast & northwest buildings' elevated walkways, stairways, beams, columns, exterior walls, and knee walls has been performed in accordance with the intent of our plans, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,



Charles R. Adams, P.E  
FL # 15113



Repairs Completed (1)



Repairs Completed (2)



Repairs Completed (3)



Repairs Completed (4)



Repairs Completed (5)



Repairs Completed (6)



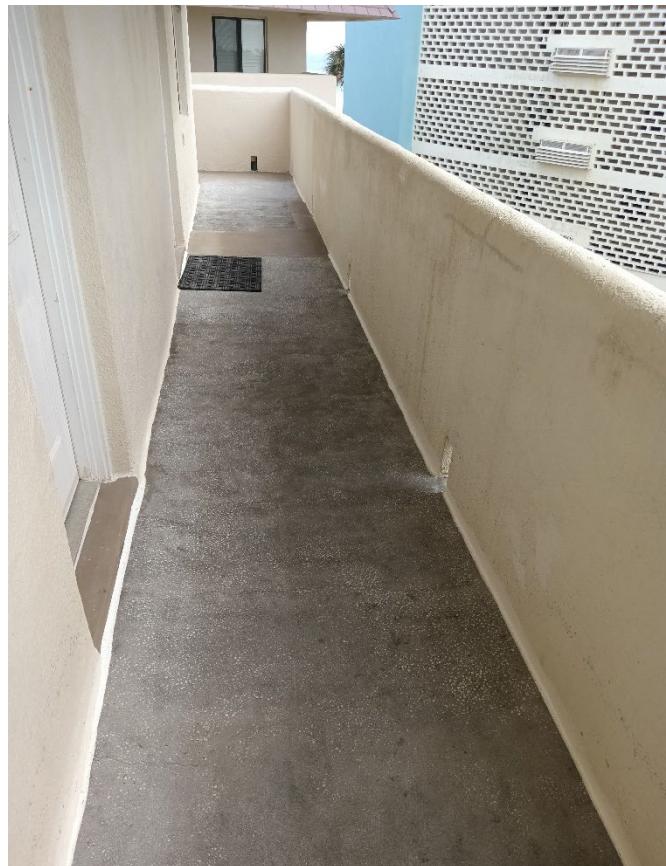
Repairs Completed (7)



Repairs Completed (8)



Repairs Completed (9)



Repairs Completed (10)



Repairs Completed (11)



Repairs Completed (12)



Repairs Completed (13)



Repairs Completed (14)



Repairs Completed (15)



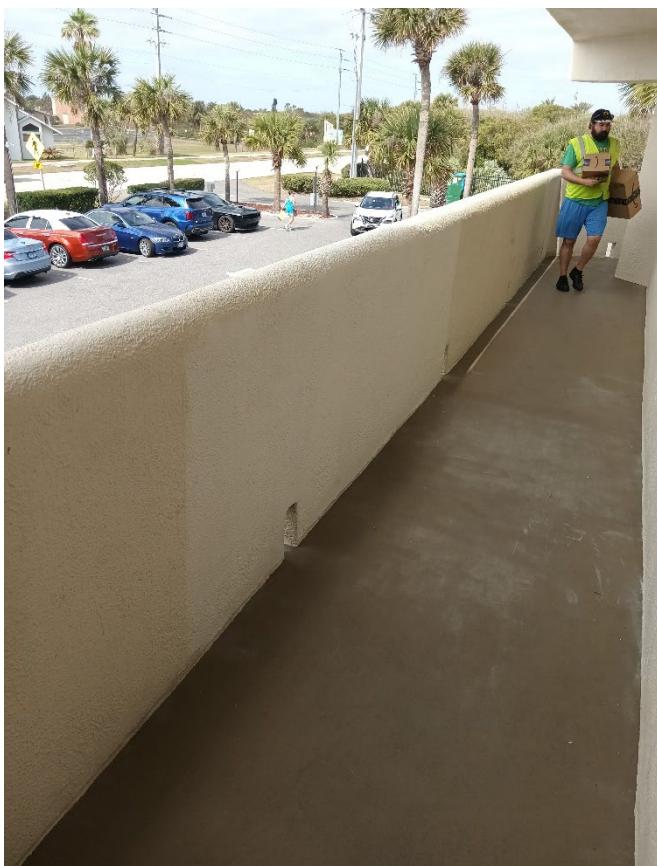
Repairs Completed (16)



Repairs Completed (17)



Repairs Completed (18)



Repairs Completed (19)



Repairs Completed (20)



Repairs Completed (21)



Repairs Completed (22)



Repairs Completed (23)



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

## **UNITS 201-208**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Property Manager*

**RE: Bent Palm Units 201-208  
Final Structural Inspection  
Permit # 21-000000163**

Mr. Griffith:

This is to inform you that on June 24, 2021, our office performed a visual inspection of the completed work at Bent Palm Club, located at the above-mentioned address, under permit # 21-0001994. We inspected all work performed on the building's exterior oceanfront walls, and elevated balcony slabs for units 201-208.

We coordinated with Sandy Norton, Foreman for R&J Coatings, to conduct inspections in areas related to the scope of work for the repair of the subject structure. As of the time of this inspection, all repairs had been completed to the building.

It is our professional opinion that ALL work done thus far to the exterior walls and balconies for units 201-208 has been performed in accordance with our plan specifications, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

Sincerely,

This item has been digitally signed and sealed by Charles R. Adams on the date indicated here. Printed copies of this document must be signed and sealed and the signature must be verified on any electronic copies.



---

Charles R. Adams, P.E.  
FL # 15113



Completed Repairs Units 203-204



Completed Repairs Units 201-202



**Completed Repairs Units 208-201**



**Completed Repairs Units 205-208**



**CRA** Charles R. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

Certificate of Authorization Number 4180

414 Canal Street - New Smyrna Beach, FL - 386.426.5583

## **STRUCTURAL INSPECTION REPORT FOR**



# **BENT PALM CLUB**

## **UNITS 209-221**

935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176

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*City of Ormond Beach  
Building Division  
22 S. Beach Street #104  
Ormond Beach, FL 32176  
ATTN: Mr. Thomas Griffith, CBO*

*CC: Bent Palm Club  
935 Ocean Shore Boulevard  
Ormond Beach, Florida 32176  
ATTN: Property Manager*

**RE: Bent Palm Units 209-221  
Final Structural Inspection  
Permit # 21-00003792**

Mr. Griffith:

This is to inform you that on February 11, 2022, our office performed a **FINAL** visual inspection of the completed work at Bent Palm Club, located at the above-mentioned address, under permit # 21-00003792. We inspected all work performed on the building's exterior oceanfront walls, and elevated balcony slabs for units 209-221.

We coordinated with R&J Coatings to conduct inspections in areas related to the scope of work for the repair of the subject structure. As of the time of this inspection, all repairs had been completed to this portion of the building.

It is our professional opinion that work done thus far to the exterior walls and balconies for units 209-221 has been performed in accordance with our plan specifications, requirements of the *7th Edition Florida Building Code (2020)*, and recommendations set forth by the *International Concrete Repair Institute (ICRI)*.

We have attached photographs for your reference. If you have any questions, or require additional information, please feel free to contact our office.

This item has been digitally signed and sealed by  
Charles R. Adams on the date indicated here. Printed copies, of this  
document, are not considered signed and sealed and the signature  
must be verified on any electronic copies.

Sincerely,



Charles R. Adams, P.E.  
FL # 15113



Completed Repairs Units 209-221 (1)



Completed Repairs Units 209-221 (2)



Completed Repairs Units 209-221 (3)



Completed Repairs Units 209-221 (4)

## -PHASE I MILESTONE INSPECTION-

\*In compliance with *FL Statute 553.899\**

### FIELD OBSERVATIONS

Inspector Name: \_\_\_\_\_

Association Legal Name: \_\_\_\_\_

Association Physical Address: \_\_\_\_\_

Association Mailing Address: \_\_\_\_\_

Assessment Date: \_\_\_\_\_

Building Owner / Jurisdiction: \_\_\_\_\_

Number of Levels (Including slab-on-grade as level #1): \_\_\_\_\_

### **GARAGE CONSTRUCTION TYPE**

▪ Steel (exposed or coated steel framing, thin floor/deck slabs, metal decking)	YES	NO	N/A
▪ Concrete Framed Poured in place	YES	NO	N/A
▪ Pre-cast	YES	NO	N/A
▪ Post-tension	YES	NO	N/A
▪ Split-slab	YES	NO	N/A
▪ Other: Explain _____	YES	NO	N/A
▪ Non-Combustible Construction (masonry & steel framed partitions for shafts, stairs, mech rooms, etc. present)?	YES	NO	N/A
▪ Free-standing or occupied space/building above? _____	YES	NO	N/A

### **VISUAL SUMMARY OF THE BUILDING**

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## -PHASE I MILESTONE INSPECTION-

\*In compliance with *FL Statute 553.899\**

### STRUCTURAL SYSTEM: ELEVATED SLABS, WALKWAYS, & BALCONIES

- Thickness of concrete deck (if known)? \_\_\_\_\_
- Compression strength of concrete slab ( $F^1c$ ) in psi (if known)? \_\_\_\_\_
- Are there any visible deck cracks? Do they leak? \_\_\_\_\_ YES    NO    N/A
- Estimated visual crack widths (1/16"-1/4" or  $\frac{1}{2}$ " and greater)? \_\_\_\_\_ YES    NO    N/A
- Are there signs of surface scaling (freeze-thaw damage)? \_\_\_\_\_ YES    NO    N/A
- Is there any concrete spalling? \_\_\_\_\_ YES    NO    N/A
- Is there any evidence of concrete deck delamination? \_\_\_\_\_ YES    NO    N/A
- Any mechanical surface damage or vehicle impact? \_\_\_\_\_ YES    NO    N/A
- Is any steel reinforcement exposed on the deck? \_\_\_\_\_ YES    NO    N/A
- Is there evidence of reinforcing steel corrosion (exposed or subsurface)? \_\_\_\_\_ YES    NO    N/A
- Is rust visible? \_\_\_\_\_ YES    NO    N/A
- Is there significant loss of reinforcing steel? \_\_\_\_\_ YES    NO    N/A
- Is this a precast deck, are the flange connection welds stressed, broken, or corroded? \_\_\_\_\_ YES    NO    N/A
- Are there any signs of water leakage? If so, describe the conditions. \_\_\_\_\_  
\_\_\_\_\_ YES    NO    N/A
- Is there an existing traffic-bearing membrane installed? \_\_\_\_\_ YES    NO    N/A
- Does it have any tears, abrasions, delamination's, or other deterioration? \_\_\_\_\_  
Estimated Life of Existing Traffic Coating? \_\_\_\_\_ YES    NO    N/A
- Are there low spots where ponding (bird baths) occurs? \_\_\_\_\_ YES    NO    N/A
- Are there water stains on the underside of the deck? \_\_\_\_\_  
Are drains functioning properly? When were they last cleaned? \_\_\_\_\_ YES    NO    N/A
- Are drains properly located? \_\_\_\_\_ YES    NO    N/A
- Has the concrete been tested for chloride-ion content? When was it last tested? \_\_\_\_\_ YES    NO    N/A
- Are records of previous inspections available? \_\_\_\_\_ YES    NO    N/A

### STRUCTURAL SYSTEM: BEAMS, BEARINGS, & COLUMNS

- Are there any cracks? If so, what is the direction, width, and depth? \_\_\_\_\_ YES    NO    N/A
- Are there any signs of leakage? Describe conditions and note location. \_\_\_\_\_  
\_\_\_\_\_ YES    NO    N/A
- Is there any concrete spalling? \_\_\_\_\_ YES    NO    N/A
- Any damage or major cracks from vehicular impact, etc.? \_\_\_\_\_ YES    NO    N/A
- Is any steel reinforcement exposed? \_\_\_\_\_ YES    NO    N/A
- Is rust visible? \_\_\_\_\_ YES    NO    N/A

## -PHASE I MILESTONE INSPECTION-

\*In compliance with *FL Statute 553.899\**

■ Is there significant loss of cross-section? _____	YES	NO	N/A
■ Are bearings in good condition? _____	YES	NO	N/A
■ Are bearing plates rusted? _____	YES	NO	N/A
■ If bearing pads have been used under beams, are they present and in good condition? _____	YES	NO	N/A
■ Are bearing pads squashed, bulging, out of place, or missing? _____	YES	NO	N/A
■ Steel Framed concerns: Visible corrosion or section loss of steel? _____	YES	NO	N/A
■ Steel Framed concerns: Fireproofing/protective coatings in good condition? _____ If not, explain: _____	YES	NO	N/A
■ Are there visible signs of beam, or double-tee deflection? _____	YES	NO	N/A
■ Are shear cracks visible on any concrete columns, or beams? _____	YES	NO	N/A
■ What is the condition of previous concrete patch repairs (if present)? _____ _____			

### BUILDING ENVELOPE PROTECTION & WATERPROOFING

■ Is there an existing traffic-bearing membrane installed? _____	YES	NO	N/A
■ Does the membrane show signs of wear including tears, deterioration, bubbling, or delamination? _____	YES	NO	N/A
■ Is the waterproofing basecoat (membrane) intact around columns, walls & drains? _____	YES	NO	N/A
■ Is the traffic bearing membrane detailed correctly? _____	YES	NO	N/A
■ Is the membrane trapping moisture in the slab? _____	YES	NO	N/A
■ Is the product chemistry known? If so, what is the chemistry? _____	YES	NO	N/A
■ Date of last painting on building exterior? _____			
■ Date of last waterproof coating on stairs, walkways, & balcony slabs? _____ _____			

### PARKING GARAGE

■ Visible efflorescence? _____	YES	NO	N/A
■ Visible ponding water or leaking areas? _____	YES	NO	N/A
■ Dampness or visible water stains? _____	YES	NO	N/A
■ Dripping from levels above through cracks, expansion joints, or deck, etc.? _____	YES	NO	N/A
■ Freeze/thaw damage? _____	YES	NO	N/A
■ Are there below grade walls with overburden on positive side? _____	YES	NO	N/A
■ Are they waterproofed (positive or negative side)? _____	YES	NO	N/A
■ Date of last waterproofing installation _____			



**PHASE I MILESTONE INSPECTION REPORT**  
**FOR**

**BENT PALM CLUB CONDOMINIUMS**

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**935 OCEAN SHORE BLVD.  
ORMOND BEACH, FL 32176**

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**(the “Association”)**

**Overview of Inspection**

The buildings at the Association (collectively, the “Buildings”) underwent a “Phase One Milestone Inspection”, as described in Section 553.899, Florida Statutes, by Charles R. Adams & Associates, Inc. (the “Firm”) on

**FEBURARY 7TH, 2024**

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The inspection was conducted for the purposes of attesting to the life safety and adequacy of the structural components of the Buildings and, to the extent reasonably possible, determining the general structural condition of the Buildings as it affects the safety of such Buildings, including a determination of any necessary maintenance, repair, or replacement of any structural component of the Buildings. The purpose of such an inspection is not to determine if the condition of an existing building is in compliance with the Florida Building Code or the fire safety code.

**Conclusions**

- (a) The seal and signature, or the electronic signature, of the licensed engineer who performed the inspection is found below.
- (b) The manner and type of inspection was as follows: The Firm performed a visual examination of habitable and non-habitable areas of the Buildings, including the major structural components of the Buildings.

(c) The identification of any "substantial structural deterioration", within a reasonable professional probability based on the scope of the inspection, the extent of deterioration, and the recommended repair(s) for such deterioration is described below (if the word "none" is listed below, no such substantial structural deterioration was identified):

As used above, the term "substantial structural deterioration" means substantial structural distress that negatively affects a building's general structural condition and integrity. The term does not include surface imperfections such as cracks, distortion, sagging, deflections, misalignment, signs of leakage, or peeling of finishes unless the licensed engineer or architect performing the phase one or phase two inspection determines that such surface imperfections are a sign of substantial structural deterioration.

(d) No unsafe or dangerous conditions, as those terms are defined in the Florida Building Code, were observed.

(e) The following remedial or preventive repair is recommended for items that are damaged but are not substantial structural deterioration (if the word "none" is listed below, no such repair is recommended):

None

(f) The identity and description of any items requiring further inspection is listed below (if the word "none" is listed below, no such items were identified):

Pool pump house repairs

As no substantial structural deterioration of any portion of the Buildings was identified during inspection, the Firm is not conducting a "PHASE II MILESTONE INSPECTION".

The following items should, however, be addressed as specified below:

1. Inspection of the structure's general condition, exposed concrete slabs, beams, and columns by a structural engineer, annually.
2. Conduct maintenance repairs, as required, every (4) years for minor upkeep, and every (7) years for the regular concrete & coating repair cycle.

The Firm will submit a sealed copy of this inspection report to the Association, and to the building official of the local government which has jurisdiction.



CHARLES R. ADAMS, P.E.

FL # 15113



# MILESTONE INSPECTION STRUCTURAL CERTIFICATION



THIS CERTIFIES THAT

# THE BENT PALM CLUB, INC.

**935 OCEAN SHORE BLVD., ORMOND BEACH, FL 32176**

has successfully completed the Phase I Milestone Inspection, as required by *FL Statute 553.899*, to certify the building as structurally adequate based on original design criteria. While regular maintenance shall continue, the building has no visible signs of "significant structural deterioration" and therefore poses no risk to life safety as of:

**FEBRUARY 7, 2024**  
(expires 10 years from date)

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Thomas Overstreet, Inspector



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Charles R. Adams, P.E.  
Florida License #15113